

**Heritage Council of
Western Australia**

and

Multiplex Raffles Pty Ltd

HERITAGE AGREEMENT

**RAFFLES HOTEL,
CNR CANNING HWY AND CANNING BEACH ROAD,
APPLECROSS**

HERITAGE AGREEMENT

RAFFLES HOTEL

THIS AGREEMENT is made on the 30th day of December 2003 between the following parties:

1. HERITAGE COUNCIL OF WESTERN AUSTRALIA of 108 Adelaide Terrace, East Perth, Western Australia (the "Council"); and
2. [REDACTED]

RECITALS:

- A. [REDACTED] is or is to be the registered proprietor of the Land.
- B. The Place is entered in the Register of Heritage Places on a permanent basis pursuant to the Act.

AGREEMENT:

The parties agree with each other as follows.

Part 1 Definitions & Interpretation

1.1 Definitions

In this Agreement, unless the contrary intention appears:

"Act" means the Heritage of Western Australia Act 1990;

"this Agreement" means this Agreement as it may from time to time be varied as permitted by its terms;

"Conservation Plan" means the Conservation Plan in respect of the Place described in item 4 of the Schedule as may from time to time be varied with the approval of the Council;

"Conservation Works" means the works specified in item 5 of the Schedule;

"Construction Completion Date" means:

- (a) in the case of immediate action as described in Annexure C, the date within 2 years after the Effective Date of this Agreement;
- (b) in the case of medium term action as described in Annexure C, the date within 5 years after the Effective Date of this Agreement; and
- (c) in the case of long term action as described in Annexure C, the date within 10 years after the Effective Date of this Agreement.

"Construction Period" means:

- (a) the period commencing on the Effective Date and expiring on the Construction Completion Date;
or
- (b) any longer period agreed between the Council and the Owner of the Place in writing;

"Damage" means losses, costs, damages, liabilities, expenses, actions, suits or claims of any kind;

"Effective Date" means the date on which this Agreement is sealed by the Council;

"Event of Default" is defined in clause 5.1;

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"Land" means the land described in item 3 of the Schedule;

"Minister" means the Minister responsible for the administration of the Act;

"Owner of the Place " means:

- (a) Multiplex Raffles Pty Ltd for so long as Multiplex Raffles Pty Ltd is the registered proprietor;
- (b) any other Owner or Owners of the Land from time to time, "Owner" having the meaning ascribed to it by the Act;

"Place" means the place described in item 1 of the Schedule and situated on, or forming part or the whole of, the Land;

"Significant Fabric" means those parts of the fabric of the Place as are specified in item 2 of the Schedule;

and

words and expressions having defined meanings in the Act, unless otherwise defined in this clause, have the meanings so defined in the Act.

1.2 Interpretation.

In this Agreement, unless the contrary intention appears:

- (a) a reference to any statute, regulation, proclamation, ordinance or by-law includes all statutes, regulations, proclamations, ordinances or by-laws varying, consolidating or replacing them, and a reference to a statute includes all regulations, proclamations, ordinances and by-laws issued under that statute;
- (b) a covenant or agreement by more than one person binds, and is enforceable against, those persons jointly and each of them severally;
- (c) no rules of construction apply to the disadvantage of a party on the basis that that party was responsible for the preparation of this Agreement or any part of it; and
- (d) a reference to any thing is a reference to the whole and each part of it.

Part 2

Commencement, Duration and Scope of this Agreement

2.1 Commencement and Duration of this Agreement

Subject to the provisions of this Agreement, this Agreement commences on the Effective Date and shall be of permanent effect unless terminated with the prior written consent of the Council.

2.2 Scope of this Agreement

- (a) This Agreement:
 - (1) applies to the Land and the Place;
 - (2) binds the Land and the Place; and
 - (3) binds the Owner of the Place.
- (b) All of the obligations of the Owner of the Place under this Agreement are covenants made pursuant to section 29(10) of the Act and are intended to run with the Land.

- (c) The rights and obligations of the Owner of the Place under this Agreement are not assignable by the Owner of the Place without the prior written consent of the Council.
- (d) Subject to sub-clause (e), on the person who is at the time the Owner of the Place ("Outgoing Owner") transferring the whole of that person's interest in the Place and the Land to another person, the Outgoing Owner is released from all personal liability under this Agreement. For the avoidance of doubt, this clause 2.2(d) operates only to release the Outgoing Owner personally and does not release, vary or otherwise affect the obligations of the Owner of the Place under or in connection with this Agreement.
- (e) The provisions of sub-clause (d) will not apply in respect of any liability or claim which arose prior to the date of registration of the transfer of the whole of the interest of the Outgoing Owner to another person.

Part 3 Development and Conservation

3.1 Conservation Works - Development

- (a) The Owner of the Place must undertake the conservation of the Place in accordance with the Conservation Plan and is required to carry out the conservation works, within the Construction Completion date, described in item 5 of the Schedule.
- (b) The Owner of the Place shall not:
 - (1) carry out any development on or of the Place; or
 - (2) without prejudice to the generality of sub-clause (b)(1), do or permit to be done anything on or in relation to the Place which adversely affects the cultural heritage significance or characteristics of the Place, or
 - (3) sub-divide or make application to sub-divide the Land,except as permitted by this clause or as otherwise approved in advance in writing by the Council.

3.2 Maintenance

- (a) The Owner of the Place must maintain the Significant Fabric, buildings and structures on the Place (as restored, constructed or adapted with the approval in advance in writing of the Council) in accordance with the Conservation Plan and in any event in a proper, safe and sound standard of repair and condition in all respects, to the reasonable satisfaction of the Council.
- (b) At intervals of no greater than 365 days during the currency of this Agreement, the Owner of the Place shall give to the Council a proper, detailed and comprehensive written report regarding the maintenance and state of the Significant Fabric and the level of compliance with this Agreement by the Owner of the Place.

3.3 Compliance with Statutes

Nothing in this Agreement removes, limits or modifies the obligations on the Owner of the Place to comply with all relevant statutory and other requirements in connection with the development of the Land, and the Owner of the Place is responsible for obtaining all approvals consents and licences required for development of the Land, including planning approvals and building licences, from all relevant bodies and authorities including the local authority.

3.4 Conservation Consultant

- (a) The Owner of the Place must appoint a consultant approved in advance in writing by the Council to supervise the Conservation Works, and must commission the consultant to provide the Council with written progress reports detailing the Conservation Works which have been completed.
- (b) A written progress report complying with paragraph (a) must be submitted to the Council at each of the following times:
 - (i) not later than 31 July in each year during the period when the Owner of the Place is carrying out, or is obliged to carry out, Conservation Works;
 - (ii) not later than 30 days after the Immediate Conservation Works are completed;
 - (iii) not later than 30 days after the Medium Term Conservation Works are completed; and
 - (iv) not later than 30 days after the Long Term Conservation Works are completed.

3.5 Insurance

The Owner of the Place will maintain an insurance policy with a reputable insurance company approved in advance in writing by the Council, sufficient to enable full and proper replacement, reinstatement or restoration of the Place in the case of damage or destruction and provide a copy of such a policy and a Certificate of Currency to the Council. In the event of damage or destruction the Owner of the Place shall, using monies recovered from its insurance policy and its own monies, fully and properly replace, reinstate or restore the destroyed or damaged fabric.

Part 4

Council's Rights of Entry and Powers of Inspection

4.1 Council's rights of entry and powers of inspection

- (a) Subject to sub-clause (b) the Council shall, through its nominated representative or nominated officer from time to time, have the power to enter the Place at reasonable times, and on reasonable prior notice, for any purpose related to the provisions of this Agreement, including without limitation to inspect the Place with a view to ensuring compliance with the provisions of this Agreement.
- (b) Subject to sub-clause (c), the Council will comply with any reasonable requirement imposed by the Owner of the Place for the purpose of exercising the rights of the Council under sub-clause (a).
- (c) The Owner of the Place must do all things necessary to enable the Council to exercise its rights of inspection as set out in sub-clause (a), including without limitation ensuring that reasonable access is provided to all parts of the Place and ensuring access to and use of any facility at the Place which is necessary to facilitate inspection.

Part 5 Default

5.1 Events of default

- (a) An Event of Default occurs if:
- (1) the Owner of the Place is in breach of or does not comply with any of its obligations under this Agreement and the breach or non-compliance continues for 30 days, or such longer period as is reasonable for rectification having regard to the nature of the breach or non-compliance, after receipt of written notice from the Council to effect compliance; or
 - (2) the Owner of the Place repudiates or commits a fundamental breach of this Agreement.

5.2 Rights and remedies of Council

In the event any Event of Default occurs, the Council shall be entitled to exercise any one or more of the following powers:

- (a) through its agents, contractors or employees enter the Place and take such actions as are in the Council's opinion necessary to rectify the Event of Default (including attending to any construction or other works); together with or separately from
- (b) any rights and remedies which may be available to the Council at law or in equity; together with or separately from
- (c) the rights, powers and remedies available to the Council under the Act,

and nothing in this Agreement limits or prejudices or shall hinder the exercise by the Council or the Minister or any other person of any of the rights, powers or remedies available to the Council, the Minister or that person under the Act if an Event of Default occurs, or any other event occurs which is a breach of any provision of the Act.

5.3 Land and Place at Risk of Owner of the Place

The Land and the Place shall remain at the risk of the Owner of the Place in all respects, notwithstanding any provisions in this Agreement dealing with the development or maintenance of the Land or the Place and without limitation all development or maintenance of the Land or the Place shall be conducted entirely at the risk of the Owner of the Place and the Owner of the Place shall indemnify and keep indemnified and save harmless the Council, the Minister and any of their respective servants or agents against all Damage incurred or suffered by any of them arising from or in connection with the development, maintenance or occupation of the Land or the Place by the Owner of the Place or any person claiming through or under the Owner of the Place.

5.4 Interest on overdue money

If the Owner of the Place becomes liable to pay any amount of money to the Council pursuant to this Agreement or arising from any matter the subject of this Agreement, the Owner of the Place shall pay to the Council interest on that amount from and including the due date for payment of the amount to but excluding the actual date of payment of that amount. The interest is to be paid on demand by the Council, is to be calculated on daily balances, and is to be at the rate then payable on judgment debts pursuant to the provisions of the Supreme Court Act.

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Part 6 General

6.1 Variation to be in writing

No variation of this agreement will be effective unless in writing and executed by the Council and the Owner of the Place.

6.2 Governing Law

This Agreement is governed by the laws of the State of Western Australia and the parties submit to the jurisdiction of that State.

6.3 Further assurances

Each party shall do all things and execute all further documents as are necessary to give full effect to this Agreement.

6.4 Extension of time by Council

The Council may, at the Council's discretion and by written notice to the Owner of the Place, extend any time period for performance by the Owner of the Place of any of its obligations under this Agreement.

6.5 Costs

- (a) The Owner of the Place shall pay or reimburse the Council on demand for all the Council's costs and expenses in relation to:
 - (1) the exercise or enforcement by the Council of any right, power or remedy under this Agreement; and
 - (2) any act or omission by the Owner of the Place causing Damage to the Council, including the Council's legal costs and expenses.
- (b) Each party shall pay all its own legal costs and expenses in relation to the preparation, execution and stamping of this Agreement.

The Schedule**Item 1: The Place**

The Raffles Hotel situated at corner Canning Highway and Canning Beach Road, Applecross and consists of the Land and all the buildings and structures on it.

Item 2: Significant Fabric

The whole of the Place.

Item 3: Land

Portion of Lot 250 on Deposited Plan 38342 as hatched on the survey drawing at Annexure A.

Item 4: Conservation Plan

Raffles Hotel Conservation Plan prepared by Hocking Planning & Architecture for [REDACTED] August 2003 a copy of which is appended to this Agreement as Annexure B.

Item 5: Conservation Works

The Schedule of Works described in Annexure C.

EXECUTED AS A DEED.

THE COMMON SEAL of the HERITAGE COUNCIL OF WESTERN AUSTRALIA is affixed in the presence of:



[Handwritten Signature]
Signature of authorised person

[Handwritten Signature]
Signature of authorised person

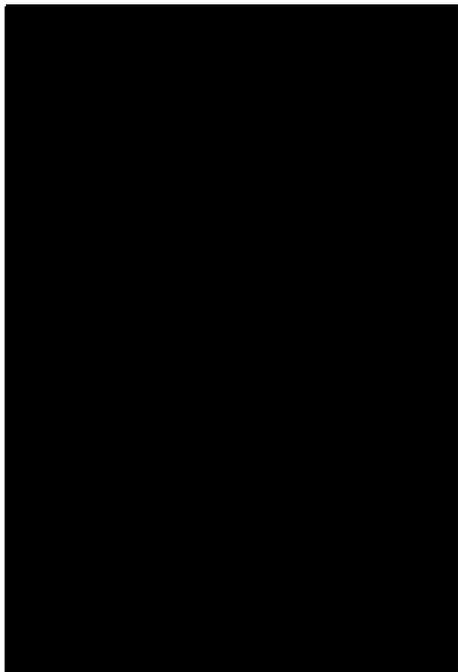
ACTING DIRECTOR
Office held

CHAIR
Office held

STEPHEN CARRICK
Name of authorised person

PATRIC DE VILLIERS.
Name of authorised person

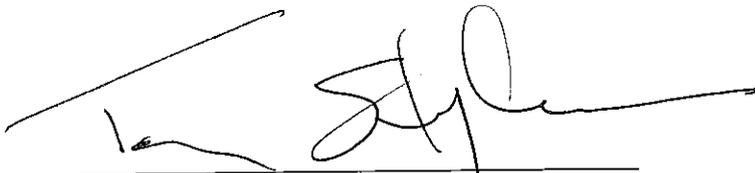
SIGNED



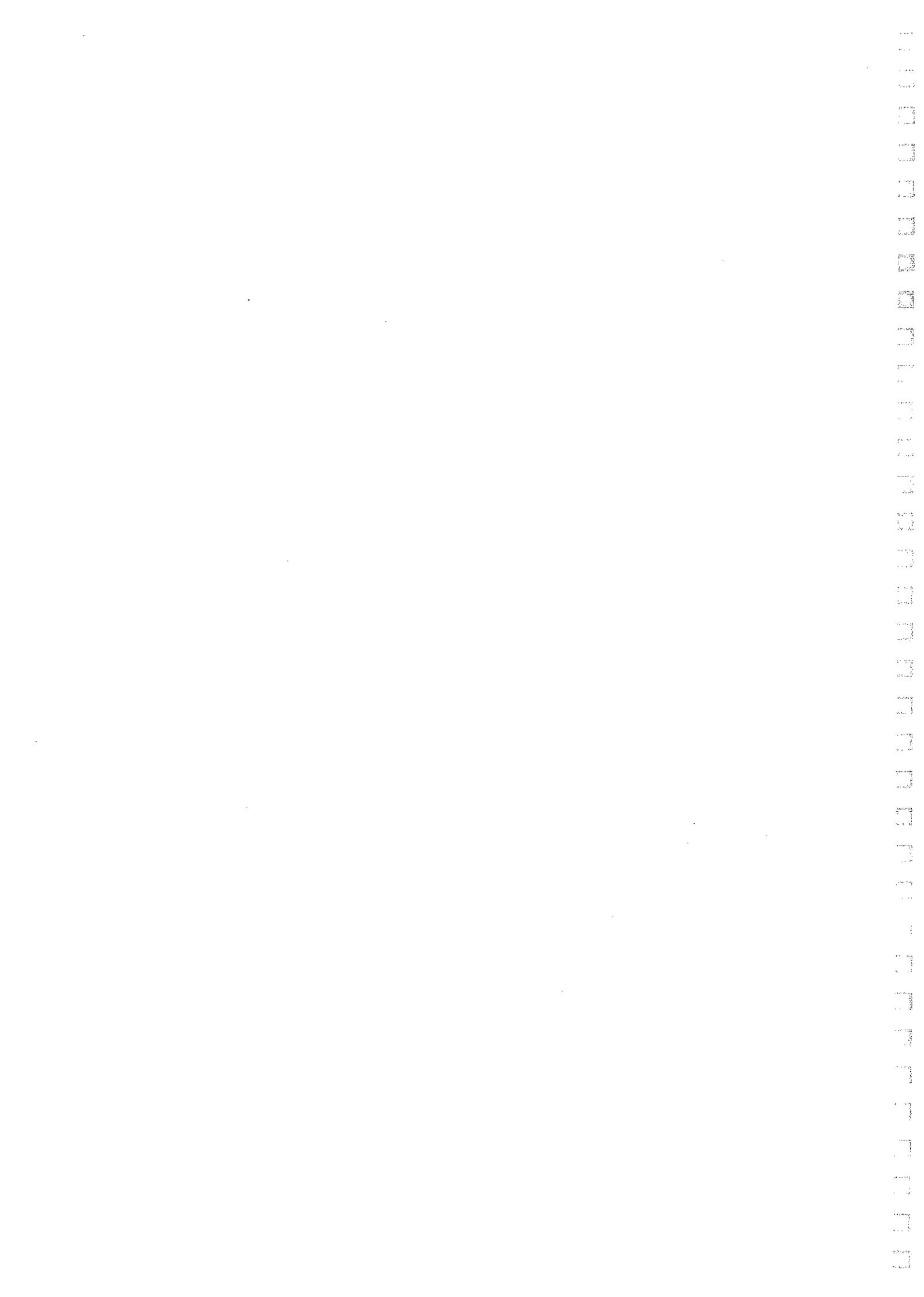
**CERTIFICATE UNDER SECTION 32 OF THE HERITAGE OF WESTERN
AUSTRALIA ACT**

I, the Hon. Tom Stephens, MLC, Minister for Heritage, hereby certify that this Agreement is necessary for the purposes of, and complies with, the Heritage of Western Australia Act 1990.

Dated the 30 day of December 2003.

A handwritten signature in black ink, appearing to read 'Tom Stephens', written over a horizontal line.

MINISTER FOR LOCAL GOVERNMENT & REGIONAL DEVELOPMENT;
HERITAGE; THE KIMBERLEY, PILBARA AND GASCOYNE;
GOLDFIELDS-ESPERANCE



Annexure A - Description of the Land

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ROAD

CANNING BEACH ROAD

ROAD

ROAD

CANNING HIGHWAY

HERITAGE AREA



LOCATION PLAN
SCALE 1:500

STRATA PLAN

SHEET 1 OF 26 SHEETS

MANAGEMENT STATEMENT YES NO

Lodged

Examined

Registered

REGISTRAR OF TITLES

WESTERN AUSTRALIAN PLANNING COMMISSION

REF :

Certificate of Approval of W.A.P.C. under Section 25(1) or 25B(2) of State Titles Act 1985.

FOR CHAIRMAN DATE

PLAN OF

LOT OF LOT 250
ON DEPOSITED PLAN 3834 Z

CERTIFICATE OF TITLE

VOL. FOL.

LOCAL GOVERNMENT

CITY OF MELVILLE

INDEX PLAN

8634(2)

FIELD BOOK NUMBER

SCALE

NAME OF SCHEME

RAFFLES WATERFRONT

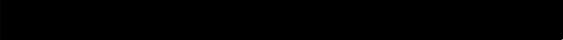
ADDRESS OF PARCEL

67-71 CANNING BEACH ROAD,
APPLECROSS,
W.A. 6153



Annexure B - Conservation Plan

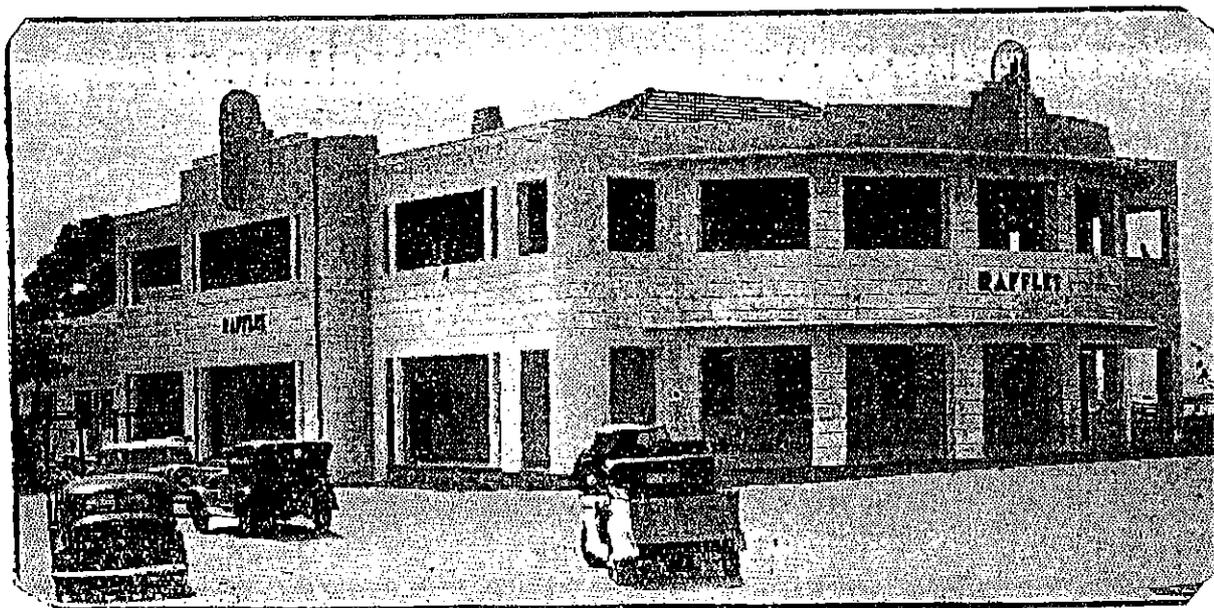
Raffles Hotel Conservation Plan prepared by Hocking Planning & Architecture for 



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Raffles Hotel

Conservation Plan



THE HOTEL RAFFLES.

Final Report
August 2003

Hocking Planning & Architecture

For



RAFFLES HOTEL CONSERVATION PLAN

EXECUTIVE SUMMARY

Background

Informed by a draft conservation plan prepared in 2001, [REDACTED] proposed the conservation of the significant aspects of the Raffles Hotel together with the erection of a complex of residential apartments in 2002. The Heritage Council of Western Australia gave conditional approval to the proposal in 2002.

Among other conditions, the Heritage Council required a conservation plan for the Raffles and its schedules of investigation and conservation works to be adopted and incorporated into a heritage agreement.

The significance of the Raffles has previously been well established. Its significance has again been reviewed here. Conservation policies have been developed for the place based on the significance and informed by Heritage Council advice. A conservation strategy (implementation section) has evolved specifically to conserve the place while implementing the Multiplex proposal.

Statement of Significance

Raffles Hotel, a two storey hotel built in 1896 and remodelled in 1937 in the Inter-War Functionalist Style, has cultural heritage significance for the following reasons:

The place is a well known landmark due to its prominent location on a promontory of land overlooking the Swan and Canning Rivers

The place is known to have operated continuously to the present day as a licensed hotel since 1896, and possibly earlier. The surviving fabric of the Canning Bridge Hotel reveals its influence on the subsequent form of the 1937 hotel with its two wings and internal courtyard area which has been largely retained to this day;

For over a century the place has had high social value for the community as a place for recreation, the celebration of events, meetings and functions;

Externally the place reveals its distinctive 1937 design and remains a significant example of the work by Perth architect W. G. Bennett, a major exponent of Inter-War Art Deco and Inter-War Functionalist style buildings in Western Australia whose work also included the Regal Theatre and Plaza Arcade and Cinema;

The building is one of the few surviving examples of a hotel in the Inter-War Functionalist style remaining in the metropolitan area;

The place is a representative example of the trend to modernise existing buildings, in particular commercial buildings, during the 1930s through the addition of modern facades and the renovation of interiors. These buildings provided a modern image for their patrons which reflected the post-depression trends of optimism about the future, new technologies and progress. Raffles Hotel and the nearby Applecross District Hall provide indicators of the stylistic changes that occurred in inter-war building design during the second half of the 1930s; and,

The place, together with the former Applecross District Hall and the Canning Bridge, creates a distinctive cultural landscape.

The separate motor lodge (1959), is not considered in this assessment. The Raff's nightclub and River Lounge (c. 1985) and the drive-in bottleshop built as additions to the

hotel are not considered to have heritage significance. Intrusive elements include the car park, signage, canopies over the windows and an entrance porch.

Conservation Recommendations

The purpose of the conservation policy is to manage change in a way supportive of cultural significance. The intentions of the conservation policy are:

- To retain and reveal significance,
- To identify feasible and compatible uses,
- To meet statutory requirements,
- To work within procurable resources; and,
- To anticipate threats and opportunities.

The conservation policy recommendations are set out in the following sections:

- Method of Approach;
- Retention and Enhancement of Landmark Form, Setting and Views;
- Reconstruction and Restoration of Exterior Form of Hotel Building;
- Adaptation of Interiors; and,
- Interpretation.

Implementation

The implementation of the conservation recommendations is anticipated to be effected through the redevelopment of the northern part of the site for residential apartments as proposed by ██████████ in 2002. Demolition of structures of lesser significance, intrusive elements and fabric of low significance is set out in a proposed schedule of demolition. Conservation works to address the maintenance backlog and implement the conservation recommendations are set out and are proposed to be included in a heritage agreement to be negotiated with the Heritage Council of Western Australia.

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1.0 INTRODUCTION

1.1 Background

Informed by a draft conservation plan prepared in 2001, Multiplex proposed the conservation of the significant aspects of the Raffles Hotel together with the erection of a complex of residential apartments in 2002. The Heritage Council of Western Australia gave conditional approval to the proposal in 2002.

Among other conditions, the Heritage Council required a conservation plan for the Raffles to be adopted and incorporated into a heritage agreement.

The significance of the Raffles has previously been well established. Its significance has again been reviewed here with further historical input from Dr Robyn Taylor and more detailed investigation of physical evidence. Conservation policies have been developed for the place based on the significance and informed by Heritage Council advice. A conservation strategy (implementation section) has evolved specifically to conserve the place while implementing the Multiplex proposal.

1.2 Study Area

The study area comprises the former Raffles Hotel at the corner of Canning Highway and Canning Bridge Road, Applecross. The land comprises Lot 176 on Plan 1751 (Sheet 1), being the whole of the land comprised in Certificate of Title Volume 1076 Folio 817, and Lot 177 on Plan 1751 (Sheet 1), being the whole of the land comprised in Certificate of Title Volume 1076 Folio 818.

The location of the place in a regional context and main site features within the study area are set out on the two figures below.

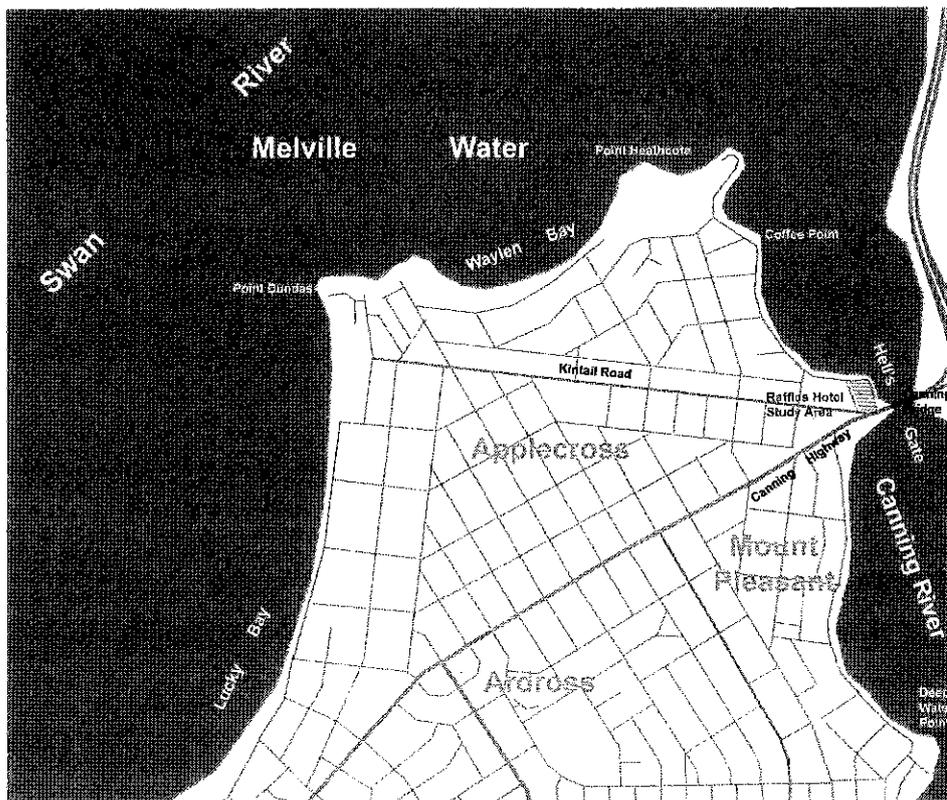


Figure 1 Location Plan showing the regional context of Raffles Hotel.

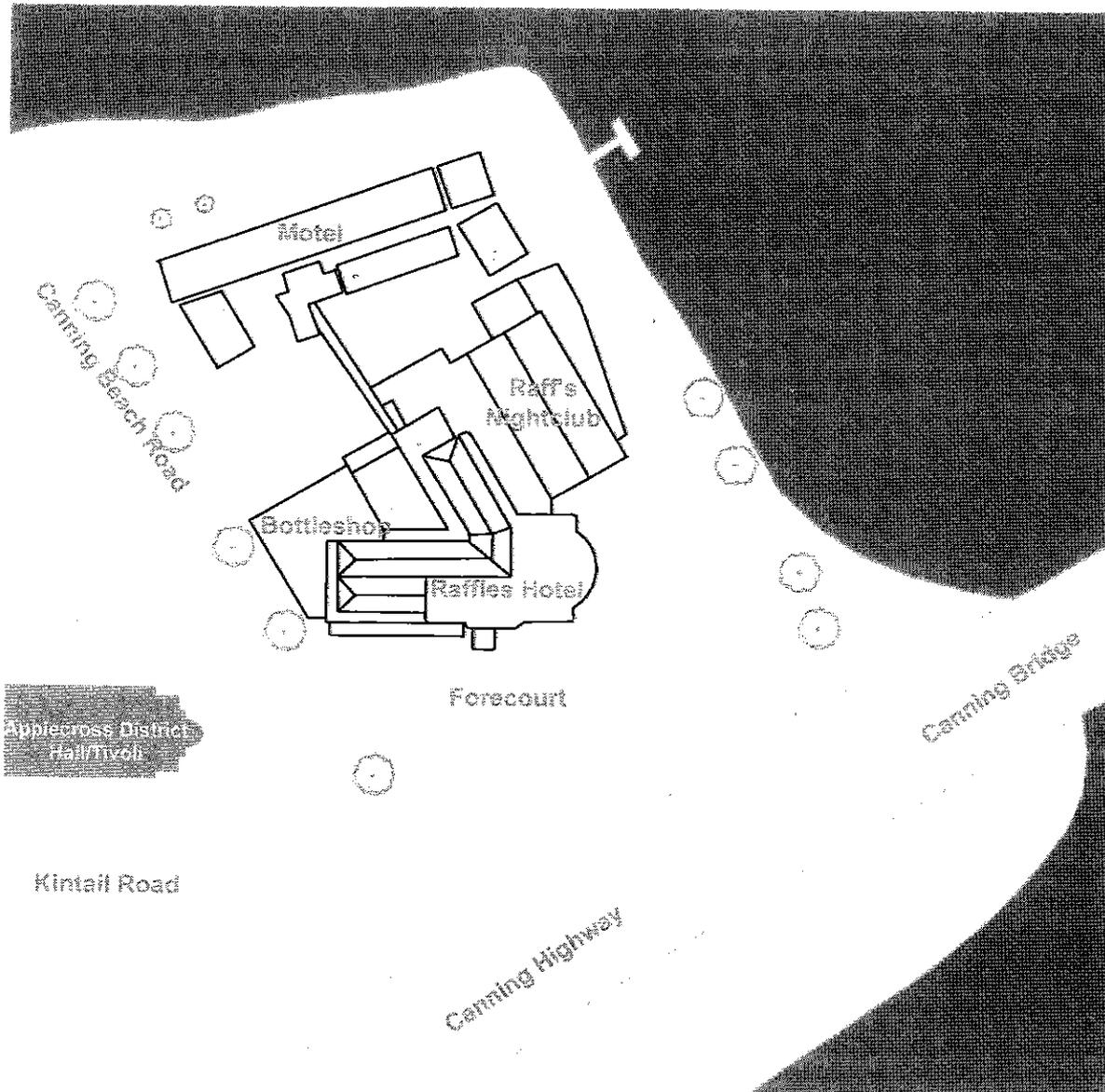


Figure 2 Location Plan showing the local context and site features of the study area within Raffles Hotel .

1.3 Ownership

The place is currently owned by [REDACTED]
 [REDACTED] intends to buy and develop the place before onselling the parts of the place.

1.4 Acknowledgements

The study team wishes to acknowledge the involvement of the following individuals in the preparation of this study:

- Art Deco Society of WA (Inc)
- Stephen Carrick, Heritage Council of Western Australia
- Maurie Chippendale, Appin Investments

- Ron Facius, Art Deco Society of Western Australia & Art Deco Committee of the National Trust of Australia (WA)
- Richard Foley, Multiplex
- Yvonne Geneve, Art Deco Society of Western Australia & Art Deco Committee of the National Trust of Australia (WA)
- Bruce James, Local resident
- Craig McClure, City of Melville
- Melville Discovery Centre, Heritage section
- Melville Historical Society
- Amy Nancarrow, Heritage Council of Western Australia
- National Trust of Australia (WA)
- David Radford, Multiplex
- Bruce Robinson & Associates, Architects
- Anthony Rowbottam, Multiplex
- Lara Watson, Heritage Council of Western Australia
- Chris Will, Multiplex
- Janet Woollard, MLA for Alfred Cove

1.5 Study Team

The study team comprised:

Hocking Planning & Architecture

- Ian Hocking, B.Arch. (Hons. His.) (Melb.) Dip.T.P. (UCL.) FRAIA Principal Director
- Don Wallace B.Arch. (Hons.) (Curtin)
- Sandra Hocking

The assessment of significance in this conservation plan is based on the assessment documentation for entry in the Register of Heritage Places prepared by Robyn Taylor and Ron Bodycoat for the Heritage Council of Western Australia.

- Robyn Taylor PhD MPHA reviewed the documentary evidence and assessment.

1.6 Methodology

The report follows the approach recommended by Australia ICOMOS (International Council on Monuments and Sites). It applies the principles set out in *The Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (The Burra Charter)*, *Guidelines to the Burra Charter: Cultural Significance*, *Guidelines to the Burra Charter: Conservation Policy*, and *Guidelines to the Burra Charter: Procedures for Undertaking Studies and Reports*.¹

¹ Peter Marquis-Kyle & Meredith Walker, *The Illustrated Burra Charter: Making Good Decisions About the Care of Important Places*, Australia ICOMOS, Sydney, 1994. The Burra Charter and guidelines are available from www.icomos.org/australia.

The report has also been prepared in accordance with the principles of *The Conservation Plan*,² and the *Criteria of Cultural Heritage Significance for Assessment of Places for Entry into the Register of Heritage Places*.³

1.7 Site Inspections

Site inspections were undertaken by the team between February and May 2003.

1.8 Previous Studies and Research

Raffles Hotel has been the subject of study and research in the following documents:

- Palassis Architects, 'Raffles Hotel Conservation Plan Draft', August 2002,
- Kevin Palassis Architects, 'Assessment of Authenticity and Integrity, Raffles Hotel (Fmr Canning Bridge Hotel)', for the Heritage Council of Western Australia, January 1996,
- Philip Kirke, 'Architectural Report Raffles Hotel Applecross' for the Art Deco Society of WA Inc., March 1997, and,
- HCWA Register Assessment Documentation, prepared by Robyn Taylor and Ron Bodycoat, permanent entry 22 January 2002.

1.9 Present Heritage Status

Register of Heritage Places: Interim Entry	16/03/2001
Permanent Entry	22/01/2002
National Trust Classification: Classified	03/07/1995
Town Planning Scheme:	20/12/1985
Municipal Inventory	19/12/1994
Register of the National Estate: Nominated	28/09/2001

1.10 Terminology

Terminology from the Australia ICOMOS *Charter for the Conservation of Places of Cultural Significance* (the Burra Charter) (Appendix A) and the Heritage Council of Western Australia's *Criteria of Cultural Heritage Significance for Assessment of Places for Entry into the Register of Heritage Places* is used in this report. Some specific terminology from these works together with other terms and abbreviations used are set out below.

Adaptation means modifying a place to suit proposed compatible uses.

Authenticity refers to the extent to which the fabric is in its original state.

Compatible Use means a use which involves no change to the culturally significant fabric, changes which are substantially reversible, or changes which require a minimal impact.

Condition refers to the current state of the place in relation to each of the values for which

² James Semple Kerr, *The Conservation Plan: A Guide to the Preparation of Conservation Plans for Places of European Cultural Significance*. National Trust NSW, Sydney, 1990 – 5th Edition 2000.

³ Heritage Council of Western Australia, *Criteria of Cultural Heritage Significance for Assessment of Places for Entry into the Register of Heritage Places*. Revised November 1996.

the place has been assessed. Condition reflects the cumulative effects of management and environmental events.

Conservation means all the processes of looking after a place so as to retain its cultural significance. It includes maintenance and may according to circumstance include preservation, restoration, reconstruction and adaptation and will be commonly a combination of more than one of these.

Cultural Significance means aesthetic, historic, scientific or social value for past, present or future generations.

Fabric means all the physical material of the place.

HCWA Heritage Council of Western Australia

Integrity is a measure of the long-term viability or sustainability of the values identified, or the ability of the place to restore itself or be restored, and the time frame for any restorative process.

Maintenance means the continuous protective care of the fabric, contents and setting of a place, and is to be distinguished from repair. Repair involves restoration or reconstruction and it should be treated accordingly.

Place means site, area, building or other work, group of buildings or other works together with associated contents and surroundings.

Preservation means maintaining the fabric of a place in its existing state and retarding deterioration.

Reconstruction means returning a place as nearly as possible to a known earlier state and is distinguished by the introduction of materials (new or old) into the fabric. This is not to be confused with either re-creation or conjectural reconstruction, which are outside the scope of this Charter.

Restoration means returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

2.0 DOCUMENTARY EVIDENCE

2.1 CHRONOLOGY OF MAJOR EVENTS

- 1827 Captain James Stirling explores the Swan River and lands at Port Heathcote, named after his midshipman.⁴
- 1829 Establishment of the Swan River Colony.
- 1830 Swan Location 61 granted to Lionel Lukin. The Location was to change hands many times with little development of the land.⁵
- 1843 Causeway constructed across the Heirisson Islands providing a traffic bridge across the Swan River.⁶
- 1849 Solomon Cook builds a timber bridge across the Canning River.⁷ The bridge is replaced in 1867, 1891-2, and 1938.
- 1890s Gold boom years in Western Australia.
- 1896 A large portion of Swan Location 61 and other lands in the Melville district acquired by Scotsman Alexander Matheson.⁸ The district of Applecross is subdivided with some improvements to attract residents.⁹
- Building of the Canning Bridge Hotel.¹⁰
- 1920s Canning Road upgraded.¹¹
- 1934 Building of the Applecross District Hall.¹²
- 1937 Extensive remodelling of the Canning Bridge Hotel, renamed the *Raffles Hotel*.¹³
- 1938 Upgrading of the Canning Highway and construction of the new Canning Bridge.¹⁴

⁴ Uren, Malcolm, *The City of Melville from bushland to expanding metropolis*, City of Melville, 1975, p. 2.

⁵ Uren, p. 7.

⁶ Le Page, J. S. H., *Building a State, The Story of the Public Works Department of Western Australia 1829 – 1985*, Water Authority, 1986, p. 40.

⁷ Uren, p. 55.

⁸ Cooper, W. S. and McDonald, G., *A City for All Seasons, The Story of Melville*, City of Melville, WA, 1989, p. 82.

⁹ Cooper and McDonald, p. 84.

¹⁰ City of Melville Municipal Heritage Inventory, No. AP09, Raffles Hotel, former Canning Bridge Hotel, Hocking Planning & Architecture, 1994.

¹¹ Cooper and McDonald, p. 155.

¹² *Building and Construction*, 31/08/1934.

¹³ *Building and Construction*, 03/12/1937, p. 5.

¹⁴ Cooper, W. S. and McDonald, p. 193.

- 1959-60 Motel type extension made on the *Raffles Hotel* site. Block of twenty units officially opened.¹⁵
- c.1960s A large covered structure constructed to the east of the *Raffles Hotel*.¹⁶
- 1960s/70s Drive-in Liquor Store constructed.¹⁷
- 1980s Extensions to structure (later known as Raffles Nightclub).¹⁸
- 1990 Proposals invited for development of the *Raffles Hotel* site.¹⁹
- 1994 Raffles Hotel entered on the City of Melville's Municipal Inventory adopted on 19 December, 1994.²⁰
- 1995 Further proposals for development of the *Raffles Hotel* site and community based action for the preservation of the hotel.²¹
- Raffles Hotel* classified by the National Trust of Australia (WA).²²
- 2001 *Raffles Hotel* given interim entry on the Register of Heritage Places.²³
- Appin Investments commission Palassis Architects to prepare a Draft Conservation Plan for the *Raffles Hotel* site.²⁴
- 2002 *Raffles Hotel* permanent entry on the Register of Heritage Places.²⁵
- Western Australian construction company Multiplex, has option to purchase the hotel site from Appin Investments and proposes redevelopment.
- Heritage Council of WA gives 'conditional support in principle' for the planned redevelopment.²⁶
- 2003 City of Melville gives planning approval for the proposed development.²⁷
- Heritage Council of WA requires a final conservation plan be prepared and used as a basis for a heritage agreement. Hocking Planning and Architecture prepares the conservation plan.²⁸

¹⁵ *The Melville Times*, February 1960, p. 1.

¹⁶ Raffles Hotel Draft Conservation Plan, Palassis Architects, p. 19.

¹⁷ Raffles Hotel Draft Conservation Plan, Palassis Architects, p. 19.

¹⁸ Raffles Hotel Draft Conservation Plan, Palassis Architects, p. 19.

¹⁹ Copies of submissions held by Bruce Robinson & Associates, Architects, South Perth.

²⁰ Heritage Council of WA Register of Heritage Places, #01544.

²¹ Documentation held by the Art Deco Society, the National Trust of Australia (WA), Melville Historical Society.

²² Classified 03/07/1995.

²³ Interim entry, 16/03/2001. HCWA Register of Heritage Places, #01544.

²⁴ Palassis Architects, Raffles Hotel Draft Conservation Plan, August 2001, unpublished report, p. 1.

²⁵ Permanent entry, 22/01/2002, HCWA Register of Heritage Places, #01544.

²⁶ Letter Heritage Council of WA to Multiplex, 18/11/2002.

²⁷ City of Melville Development Approval dated 13/01/2003.

²⁸ Hocking Planning and Architecture.

Western Australian Planning Commission issues Approval to Commence Development for Multiplex proposal.²⁹

2.2 Introduction

The following history of the *Raffles Hotel* is based on prior work undertaken by the author in 1998 for an upgraded assessment for the National Trust of Australia (WA), and a heritage assessment for the Heritage Council of WA's Register of Heritage Places.³⁰ Material has also been drawn from a draft conservation plan undertaken by Palassis Architects in 2001/2 and additional material made available and researched for this report. These include proposals for the redevelopment of the *Raffles Hotel* site, heritage reports and submissions made by community based action groups who have campaigned for the retention of the building.³¹

The *Raffles Hotel* (c.1896, 1937) is located on the western side of the Canning Bridge in Applecross, a suburb of the City of Melville. The building has a waterfront location on a promontory of land that extends into the Canning River. It is bounded by Canning Beach Road to the west, the Canning Highway to the south, and what appears to be an extension of Canning Beach Road that runs between the hotel site and the river along its northern and eastern boundaries. Facing the south-west corner of the hotel is Kintail Road. This intersects with Canning Beach Road near its junction with Canning Highway. Because of historical and stylistic factors, the former Applecross District Hall (1934), which is located at this junction, is seen as a significant element in the general *Raffles Hotel* locality.³²

2.3 Pre-European Settlement

Before European settlement the Melville district was part of the Beelias people's territory that covered the foothills of the Darling Ranges and coastal plains south of the Swan and Canning Rivers.³³ It is stated that in the 1830s, there were around sixty Beelias people in the locality.³⁴ A number of campsites have been found near the rivers and swamps adjoining Bull Creek, Alfred Cove and North Lake and other places, however no sites have

²⁹ [REDACTED]: Approval to Commence Development, 5 March 2003.

³⁰ *Raffles Hotel*, National Trust upgraded assessment, March 1998; Heritage Council of WA assessment, June 1998.

³¹ Copies of various plans and submissions were provided by Bruce Robinson and Associates, Architects. Newspaper articles and other documents relating to these community campaigns are held by the Art Deco Society of Western Australia and the Melville Historical Society.

³² National Trust of Australia (WA) Assessment, June 1995; and Upgraded Assessment, January 1998. This observation is also made by the Art Deco Society of WA in its various documents about the *Raffles Hotel*.

³³ Cooper, W. S. and McDonald, G., *A City for All Seasons, The Story of Melville*, City of Melville, WA, 1989, pp. 2 – 3.

³⁴ Cooper and McDonald, p. 4 citing *Perth Gazette*, 12/11/1936.

been identified to date around the vicinity of the *Raffles Hotel*.³⁵ The Swan River to the north of the site has mythological significance.³⁶

2.4 European Settlement of the Area

For much of the nineteenth century Swan Location 61, which included the *Raffles Hotel* site, was largely undeveloped. This was due to a number of factors; the poor quality of the soils, hostility from the indigenous inhabitants, and the threat of bushfires. But more than these, it was its isolation from the main centres of settlement, the port town of Fremantle and the colony's capital in Perth that discouraged development. There had been the possibility that Point Heathcote, near the confluence of the Swan and Canning Rivers and north-west of the *Raffles Hotel*, could have been chosen as the site for the capital of the Swan River Colony. Captain James Stirling had landed there in 1827 during his early explorations of the Swan River and named the place after his midshipman.³⁷ He considered Point Heathcote, and a number of other places, before finally settling on a site on the north side of the river. This meant the district effectively ended up being '...on the wrong side of the river to attract settlement.'³⁸

Swan Location 61, the largest land grant on the south side of the river, had been acquired by Lionel Lukin on 28 May 1830.³⁹ It consisted of 1,096 acres that included all of Applecross and part of the Canning Bridge locality. It was to change hands many times.⁴⁰ In 1896, a large portion of the Location was purchased by Alexander Matheson, a Scotsman, who had been attracted to Western Australia by the gold boom and prospered.⁴¹ Matheson also acquired Swan Locations 73 and 74, and Cockburn Sound Location 356, '... he now owned more than 1,200 hectares of Melville land, including a continuous river frontage from Deepwater Point [south of the Canning Bridge] to the eastern boundary of Dr Waylen's Point Walter Estate.'⁴² Matheson was a Principal of the London and Western Australian Investment Company that undertook to develop his holdings under the name Melville Water Park Estate Company. The first development, a subdivision in Attadale, failed to excite buyers because of its swampy foreshores and remoteness. Matheson then sought to develop Applecross, named after the place near his family estates in Scotland.⁴³ His intention for Applecross was for the locality to be developed into a model suburb, a

³⁵ Cooper and McDonald, p. 4.

³⁶ Register of Aboriginal Sites, Dept. of Indigenous Affairs, letter dated 09/05/2003.

³⁷ Uren, p. 2.

³⁸ Uren, p. 4.

³⁹ Uren, p. 7.

⁴⁰ Uren, p. 8 – 10; 'History and Origin of City of Melville. Search of Ownerships of Original Locations in City of Melville', Planning Department, City of Melville, 1972. Typed document. (Q99411 MEL)

⁴¹ Uren, p. 16.

⁴² Cooper and McDonald, p.82.

⁴³ Uren, p. 17.

place of 'gentlemen's residences'.⁴⁴ To gain prestige for Applecross, Matheson invited the Governor, Sir Gerard Smith to select a block of land at Point Dundas. A vice-regal summer residence was built but never occupied by the governor or his family. It eventually became the Majestic Hotel.⁴⁵ Matheson built a substantial home for himself at Applecross and proceeded to develop the new suburb.

He established a boat yard at Coffee Point ... for assembling and maintaining the vessels of the newly instituted Applecross Steam Ferry Service. Nearby an artesian bore was sunk to provide a supply of piped water to local residences. On the other side of the peninsula and overlooking Lucky Bay, John Muir, a horticultural expert from Victoria, was cultivating an extensive experimental plant nursery. Irrigated with well water from a pump driven by one of Matheson and Company's oil engines, vines, fruit trees, vegetables and flowers were growing there in vigorous profusion. The aim of this luxuriant display was to convince potential home gardeners of the fertility of Applecross' sandy soils.⁴⁶

Despite his efforts, which included an unsuccessful attempt to encourage the government to establish a post office and police station at Applecross, the area would not go ahead until well after the First World War.⁴⁷

2.5 Canning Bridge Hotel

The history of the *Raffles Hotel* dates back to the Canning Bridge Hotel (c.1896). There may have been an earlier structure, such as a way-side inn on this site but it has not been possible to establish this with any degree of certainty.⁴⁸ The site has been significant in terms of its location on the southern route from Fremantle to Perth via the Causeway (built across the Heirisson Islands in 1843), and its proximity to the successive bridges that were built across the narrowest section of the Canning River. The building of these bridges and the hotel appear, in some respects, to share a common history.⁴⁹

The crossing was once known as 'Hell's Gate' because of its difficulty,⁵⁰ and before the 1850s, travellers and itinerant workers had to make the crossing by punt. The need for a bridge to take traffic to and from the eastern districts and the Port of Fremantle was realised in September 1849 'when a contract was let to Solomon Cook to build a timber bridge across the river.'⁵¹ This was completed in January the following year and a toll system introduced. Apparently in that same year, on the 4th May 1850, a liquor licence was

⁴⁴ Uren, p. 17.

⁴⁵ Cooper and McDonald, p.84.

⁴⁶ Cooper and McDonald, p.84.

⁴⁷ Cooper and McDonald, p.86.

⁴⁸ Information on the granting of liquor licences to early inns and hotels in the Canning River area were not specific enough to pinpoint an establishment in this location.

⁴⁹ After the first bridge opened in 1850, replacement bridges were built in 1867, 1891 - 92, 1908 and 1938.

⁵⁰ Cooper, W.S. and McDonald, p. 51.

⁵¹ Uren, p. 55.

granted to Samuel Duffield the owner of the 'Bridge Inn' of Canning.⁵² The exact location of this Inn has not been established and it cannot be assumed to be near the Canning Bridge, although the presence of an inn would be highly feasible in this locality before the building of the Canning Bridge Hotel. In their history of Melville, Cooper and MacDonald write:

Since the days of the short-lived Leyson Arms Tavern at Bull's Creek in the 1830s, there were several unsuccessful attempts to establish a public house near the river on Canning Road. By 1900, however, the Canning Bridge Hotel, on the site of the present-day Raffles, had become a permanent landmark. It was a single storey structure, with a high gabled roof. Beside it stood a pavilion, with a dance hall on the upper floor and refreshment rooms below.⁵³

The hotel provided a venue for many social and sporting groups such as the W.A. Hunt Club. One 'old time memory' recorded in Malcolm Uren's history of Melville, mentions how the hotel 'was at its busiest on Hunt Club days...' and that, 'The hotel stables were located where the hall now stands'⁵⁴ (presumably the Applecross District Hall). The hotel was also used by the East Fremantle District Road Board for its first council meeting on 22 March, 1901.⁵⁵

Accounts of the area around the Canning Bridge Hotel during the early decades of the twentieth century describe it as an isolated place. 'The only roads - they were little better than cleared tracks topped with shell - were Kintail, Ardross and Duncraig Roads. They ended suddenly in the bush. Canning Road was of limestone and was very rough to travel.⁵⁶ The district was also described as 'a children's paradise. There was swimming, boating, fishing, crabbing, prawning and rambles in the bush. Life was free and easy.'⁵⁷ The rural holiday ambience of the place was one of its main attractions for day-trippers who made the journey from Perth by ferry. Apart from the hotel, there were other places for refreshments such as at Coffee Point and the Canning Bridge Tea Rooms. During the late 1920s, the Canning Road was 'rehabilitated' and the Canning Bridge Hotel came under new management. The place was advertised as 'a thoroughly up-to-date residential hotel and popular holiday resort', which was accessible by bus or ferry.⁵⁸

⁵² *The Inquirer*, 08/05/1850.

⁵³ Cooper and McDonald, p.155.

⁵⁴ Uren, p. 60.

⁵⁵ Uren, p. 22.

⁵⁶ Uren, p.59.

⁵⁷ Uren, p.58.

⁵⁸ Cooper and McDonald, p.155.

2.6 The Raffles Hotel

Following the world wide economic depression of the early 1930s, a growing sense of optimism for the future of the Melville district resulted in a number of civic improvements, including the decision to build the Applecross District Hall (1934, now called the 'Tivoli'), on the eastern end of Kintail Road. The proximity of this site to the hotel was objected to at the time by the local Parents and Citizens Association.⁵⁹ However, the distinctive modern design for the Hall prompted the comment in the *Fremantle Districts Sentinel* that it would be 'a fine landmark, and a great advertisement for the Applecross district in particular and the Melville district in general.'⁶⁰ Three years later, in 1937, the Canning Bridge Hotel underwent extensive remodelling and was renamed *Raffles Hotel* - the name redolent of the famous 'Raffles' in Singapore. The modern facade, and in particular the nature and placement of the forward extension of the hotel, appears to reveal a conscious effort on the part of the architect to respect the importance of the District Hall to the community and its streetscape value. While work was in progress on the Hotel, the Canning Road was upgraded and renamed Canning Highway in 1937, and a new Canning Bridge was constructed alongside the older one. This was completed in 1938.⁶¹

The successful tender for the hotel's modern face-lift and extensive additions had been submitted by Perth architect William G. Bennett.⁶² The builder and contractor was W. F. Dusing.⁶³ Bennett had been a partner of the firm Eales, Cohen & Bennett that was responsible for the Applecross District Hall. He left the firm in 1935.⁶⁴ Although there is only three years difference between these two buildings, together they represent the stylistic shifts which occurred in Western Australian buildings between the mid to late 1930s.⁶⁵

The *Raffles Hotel* reveals the new design aesthetic, then in vogue, of streamlined functional forms with an emphasis on 'horizontal lines, admirably suited to the site'.⁶⁶ Its design took good advantage of the riverside location. 'The main feature is the large curved loggias, on both floors, provided on the river frontage. From there, extensive views of the Swan and Canning Rivers are available.'⁶⁷

⁵⁹ Cooper and McDonald, p.197.

⁶⁰ Cooper and McDonald, p.197.

⁶¹ Cooper and McDonald, p. 193.

⁶² *Building and Construction*, 03/09/1937.

⁶³ *Building and Construction*, 31/12/1937, p. 5.

⁶⁴ *Building and Construction*, 28/06/1935.

⁶⁵ See doctoral thesis by Robyn Taylor. 'An investigation into the nature of modernism and modernity during the 1930s in Perth, Western Australia, through the study of specific buildings and related art and design forms', University of Western Australia, 1993.

⁶⁶ *Turner's Annual*, 1937, p. 62.

⁶⁷ *Turner's Annual*, 1937, p. 62.

The new Hotel was officially opened on December 10th, 1937. A report in *The West Australian* the following day described the event and the Hotel's special features:

In the presence of 200 guests the Chief Secretary (Mr. W. H. Kitson) declared open the Hotel Raffles at Canning Bridge last night. The hotel which was reconstructed recently at a cost of nearly £10,000 is one of the most artistic and attractive hotels in the metropolitan area. A feature is a biergarten, which is believed to be the first of its kind in Australia.

Mr Kitson said the premises would add greatly to the popularity of the Swan River and Canning Bridge. The surroundings generally were so delightful that it was difficult when in the hotel or biergarten to imagine that one was so near to Perth and the Swan and Canning Rivers. He congratulated the proprietors (Messrs. J. P. Monaghan and M. A. McDonnell) and the owner (Mr. J. A. Coleman) on the high standard of the establishment.⁶⁸

The *biergarten* and the hotel's fittings were also described in the weekly trade journal *Building and Construction*. In this publication the *biergarten* was referred to as 'Perth's first biergarten' and that, 'In design and in faithfulness of execution and fitments, it is claimed to be an exact reproduction of the traditional German Biergarten.'⁶⁹ The garden was situated on the northern boundary of the Hotel.

It is enclosed on the southern side by the hotel building, and on its other sides by shade houses and aviaries. It consists of a large grassed area dotted with about 50 shade trees, including such varieties as the umbrella, plane, poplar, Kurragong (sic.), and such like. In the centre of the area is an ornamental dovecote and aviary. Nearby is a sundial. A number of rustic tables are placed at intervals over the area... From the Garten a rustic, arched gateway leads to the eastern side of the hotel.⁷⁰

Beer gardens were not new to Australia. According to architectural historian J. M. Freeland they had been tried in Australia in the 1840s and 1890s. However the *Raffles Hotel* may well have been at the forefront of the beer garden revival that took place in the decade following the post-Second World War.⁷¹

The above descriptions of the *Raffles Hotel* suggest a curious mixing of styles and ambiances. The rustic nature of the German *biergarten* and the stream-lined modernity of the hotel design is continued in the interior where 'a novel feature of the main lounge is an ingle fireplace', whereas the 'whole design is intended to provide a tropical hotel in a metropolitan setting.'⁷² Undoubtedly this was designing for the realities of the local climate with its seasonal changes. The Main Lounge was 38 feet long (11.5 metres) and 36 feet wide (11.5 metres), and the Tropical Lounge which featured a polished timber dance floor was 58 feet long (17 metres) and 26 feet wide (7.5 metres)- The two lounges were

⁶⁸ *The West Australian*, 11/12/1937, p. 25b.

⁶⁹ *Building and Construction*, 31/12/1937, p.4.

⁷⁰ *Building and Construction*, 31/12/1937, p.4.

⁷¹ Freeland, J. M., *The Australian Pub: An illustrated history of the development of the Australian pub from the 1790s to the present*, Melbourne University Press, 1966 (revised 1977), p. 164.

separated by folding glass doors- Listed as outstanding features of the Tropical Lounge were its 'specially designed' cane furnishings, large palms and pot plants, while the basic colours of the lounge were green, Chinese red, cream and black. Large glass doors led from the Tropical Lounge to 'an enclosed garden surrounded by a pergola.'⁷³ Another special feature was the wall ventilators that covered loud speakers for a combined radio and gramophone system.

The Saloon and Public Bars of the original Canning Bridge Hotel were increased in size, and finished with new textured walls, plaster ceilings, flush panelled walnut bar counters, with chromium edging and footrails, and chromium wall fittings and mirrors. The Dining Room, also situated in the original Canning Bridge Hotel, was redecorated with textured walls and a decorative plaster ceiling, and featured a new 14 feet long (4.2 metres) plate glass picture window, which overlooked the *biergarten* and river. A staircase, with wrought iron balustrade and polished maple handrail, led up to the new first floor accommodating bedrooms, bathrooms, private lounge and two loggias.

The exterior of the hotel was described as 'rendered in cream cement, with sunk rustication emphasising the horizontal lines on the main building.'⁷⁴ The pitched roof over the first storey section was covered in colour-blend tiles, while green painted circular steps led to the entrances of the Hotel from the Canning Highway frontage.

Raffles Hotel soon became a popular place for social entertainment, hosting the 'Night in June' Ball and other society events.⁷⁵

The post-depression growth of the surrounding districts could well have been a factor in the extensive remodelling and extension of *Raffles Hotel*. For example an advertisement placed in the *Daily News* has a drawing of 'Raffles' and the caption 'We welcome - Australia's most beautiful college to our district'.⁷⁶ Calling itself 'The Garden Hotel of the State', it makes reference to the fact that it is within a few minutes of Aquinas College (across the bridge at Salter Point), and Santa Maria Ladies' College in Attadale that was also constructed during 1937. Hotels such as *Raffles Hotel* would have provided a convenient place to stay for parents of country students boarding at these colleges, and other visitors coming to Perth. *Raffles Hotel* was a fashionable hotel for entertaining, as promoted in its advertisement, and being on the river, an ideal place for enjoying water sports and Perth's sunny Mediterranean climate.

⁷² *Building and Construction*, 31/12/1937, p. 5.

⁷³ *Building and Construction*, 31/12/1937, p. 5.

⁷⁴ *Building and Construction*, 31/12/1937, p. 5.

⁷⁵ *Turner's Annual*, June 1938, p. 30.

⁷⁶ *Daily News*, 19/02/1938, p. 9.

The *Raffles Hotel* was one of many hotels constructed, or reconstructed, in Western Australia during the years following the world depression. (See section on Comparative Analysis). During the later half of the 1930s, the modern aesthetic in architecture and design, and the modern lifestyle of dining and dancing at clubs and hotels,⁷⁷ was gaining broad international popularity through the influence of Hollywood movies, illustrated magazines and the press. These forms of communication were becoming more sophisticated through advances in modern technology. In Western Australia, the local trade journal *Building and Construction* carried regular articles about the Modern Movement in Europe, Great Britain and America. It also featured the work of local architects and their achievements. Many travelled interstate and overseas to explore the latest design solutions for their work.⁷⁸ The emphasis was on progress, the latest technologies, and a general sense of optimism for the future that was reflected in the styles adopted for their buildings.

During the 1950s, as economic prosperity followed the stringencies of the Second World War, the increase in car ownership saw the introduction of the motel. Motels offered car travellers an alternative form of accommodation to the standard hotel room and were particularly suited to families. They provided fully furnished rooms with convenient parking outside the door. Compared to a hotel room, an additional attraction was their distance from any noise coming from the hotel bar or entertainment area. In 1959, the *Raffles Hotel* site was developed with the addition of 'a motel-like extension'.⁷⁹ In February the following year, a two storey block of twenty units was officially opened by the Minister for Health Ross Hutchinson 'who congratulated Raffles manager (Mr Jim) West on the hotel's enterprise in taking this step to meet public demand'.⁸⁰ The motel was built at the rear of the hotel overlooking the Swan and Canning Rivers. 'Typical of commercial architecture of the period, the motel blocks, located along the northern and eastern boundaries of the site, were constructed of brick, with shallow pitched metal deck roofs and aluminium window frames'.⁸¹ Press reports of the time stated that the design of the new units did not match up with the existing hotel, because 'the two are not close together'.⁸²

The motel consists of 20 one-room apartments with simple eating, showering and toilet annexes. Each motel is furnished with carpet, lino-tiles, blondewood (sic) furniture,

⁷⁷ Taylor, R., 'An investigation into the nature of modernism and modernity during the 1930s in Perth, Western Australia, through the study of specific buildings and related art and design forms', University of Western Australia, 1993.

⁷⁸ Taylor, R., 'An investigation into the nature of modernism and modernity during the 1930s in Perth, Western Australia, through the study of specific buildings and related art and design forms', University of Western Australia, 1993.

⁷⁹ *The West Australian*, 26/09/1959, p. 15a.

⁸⁰ *The Melville News*, February, 1960, p. 1.

⁸¹ 'Raffles Hotel Assessment of Authenticity and Integrity', Kevin Palassis Architects, for the Heritage Council of WA, 1995 and revised 1996.

⁸² *The West Australian*, 26/09/1959.

refrigerator, coloured venetian blinds, comfortable mattresses and reading lamps. There are facilities for making hot drinks and for storing cold food, though not for cooking.⁸³

Undated plan drawings of the *Raffles Hotel*, possibly dating from the mid to late 1960s as the measurements are shown in metric, show alterations to the internal spaces of the hotel and the removal of the eastern section of the main southern entrance bay.⁸⁴

Also around this time, a single storey steel framed 'shed' was constructed in the gardens to the east of the hotel along the river side of the site.⁸⁵ It is probable the hotel proprietors found the uncovered garden area was not being utilized as much as it could be. This was a common experience elsewhere in Australia. According to Freeland,

...what seemed a good idea did not prove practical. They were used by the public only in ideal weather and even the best-intentioned pub could not afford to have an expensive part of its facilities out of action for half the year. The beer-gardens were at first roofed over and then walled, often with folding doors that could be thrown open in summer.⁸⁶

Photographs of the interior, taken during the c.1960s, reveal an expansive entertainment area (later to become the Raffles Nightclub) that attracted young and old alike. The development of the beer garden area would have required the removal of the tree plantings and gardens. The large palm trees located on the foreshore opposite the entrance to the hotel and carpark remain to this day, however it has not been established whether these were planted at the same time as the beer garden trees in 1937.⁸⁷

Subsequent extensions were made to the 'shed' building linking it to the main hotel structure and outwards towards the river in a north-easterly direction.⁸⁸

A single storey addition was constructed, c. 1985, to the east of the main building, in the area once occupied by the Bier garden. The addition that accommodates the Raffles night club, has a decorative façade with horizontally banded cement render similar to the 1937 building, but the rear of the building has a standard column and beam structure and large metal framed windows.⁸⁹

In 1990, four architectural firms were invited to submit proposals for the development of the *Raffles Hotel* site. The introduction to the submission by Hobbs Winning Australia states, 'The Raffles Hotel is the only riverfront Hotel of its class within the Perth metropolitan area.'

⁸³ *The Melville News*, February 1960, p. 1.

⁸⁴ Health Department Plan Set No. 5112, undated. Microfiche. Battye Library.

⁸⁵ Aerial photographs from 1963 show the Motel and Raffles Nightclub. DOLA photographs 5144 WA 838 Run 21 (5137-5157) 7,000', 13 October 1963. Cited in *Raffles Hotel*, Draft Conservation Plan, Palassis Architects, p. 19.

⁸⁶ Freeland, J. M., *The Australian Pub: An illustrated history of the development of the Australian pub from the 1790s to the present*, Melbourne University Press, 1966 (revised 1977), p. 164.

⁸⁷ The descriptions of the 1937 plantings did not mention palm trees.

⁸⁸ *Raffles Hotel*, Draft Conservation Plan, Palassis Architects, p. 19.

⁸⁹ *Raffles Hotel* Assessment of Authenticity and Integrity, Kevin Palassis Architects, for the Heritage Council of WA, 1995 and revised 1996,

The location, aspect and historical significance provide a unique setting...'.⁹⁰ The firm's submission was the only one to substantially retain the 1937 hotel as part of its proposal.

While nothing appears to have come from these submissions, the desire to develop the hotel site was to surface again in the mid 1990s. In the meantime, the *Raffles Hotel* continued to be well patronized. According to a 1995 design submission the

...premises are licensed to cater for approximately 1510 people... On average the Hotel attracts approximately 1000 people on a Saturday or Sunday during normal operating hours. On some occasions this figure can be exceeded.⁹¹

This design proposal, which required the demolition of *Raffles Hotel*, met with strong opposition from community groups such as the Art Deco Society of WA, the Melville Conservation Society, the Melville Historical Society, the Melville Ratepayers Association and the Friends of the Swan River. There is extensive documentation covering the campaign to 'save the Raffles' held by the National Trust (WA), the Art Deco Society of Western Australia, and the Melville Historical Society, with letters of support from national and overseas architects and supporters for the retention of Art Deco buildings.

The heritage significance of the *Raffles Hotel* was subsequently recognized by its inclusion on the City of Melville's Municipal Inventory of Heritage Places, adopted on 19 December 1994; and classification by the National Trust of Australia (WA) on 3 July 1995. In March 2001, it was given interim entry on the Register of Heritage Places.⁹² It was then clear to the owner that any development of the site would need to consider the cultural heritage significance of the place. Consequently, Appin Investments commissioned Palassis Architects to prepare a conservation plan to guide the future use, development and conservation of the Raffles Hotel site.⁹³ The conservation plan included a broad determination of the varying degrees of significance of the various elements on the site in which the existing beer garden, motor lodge, Raff's Nightclub and the drive-in bottleshop were all considered to be of low significance.⁹⁴ It also included a diagram showing guidelines for future development that would be critical in new proposals for redevelopment. The guidelines showed that future development should generally be confined to the areas occupied by structures of low significance (namely the north and west of the original v-shaped plan of the 'heritage core' of the hotel) with the hotel core itself

⁹⁰ Raffles Hotel Development, Hobbs Winning Australia, 1990. Copy held by Bruce Robinson & Associates, Architects, South Perth.

⁹¹ Traffic Report section in the City of Melville Design Submission for Redevelopment of *Raffles Hotel*, prepared by Davenport Campbell, August, 1995.

⁹² Heritage Council of WA, database 01544.

⁹³ Palassis Architects, Raffles Hotel Draft Conservation Plan, August 2001, unpublished report, p.1.

⁹⁴ Palassis Architects, Raffles Hotel Draft Conservation Plan, August 2001, unpublished report. See diagram p. 71.

together with the open space to the south and east being indicated as areas for 'limited future development'.⁹⁵

Comments on the draft conservation plan were prepared by the Heritage Council but the report remained in draft form when it was reprinted without changes in July 2002 by which time the place had been entered permanently on the Register of Heritage Places.⁹⁶

In the latter half of 2002, the Western Australian construction giant Multiplex, who had an option to purchase the site from Appin Investments, proposed a major redevelopment of the site that would fit within the guidelines for development outlined in the Palassis conservation plan. The scheme proposed the removal of the beer garden, motor lodge, Raff's nightclub and the drive-in bottleshop. The hotel core was to be retained. With its intrusive elements stripped, the hotel core was to be used partly as tavern and partly for other commercial purposes. On the north of the site, a fifteen storey apartment tower was proposed to sit above three five storey apartment blocks on the northern, western and eastern boundaries. The open space east and south of the hotel core was to be retained and enhanced with landscaping as an 'art deco style civic garden' which also reinforced the relationship with the nearby Applecross District Hall (now known as the Tivoli).

Despite community protests against the project, in particular the height of the tower, the proposal was given planning approval by the City of Melville on 13 January 2003.⁹⁷ This approval followed the Heritage Council's 'conditional support in principle' for the scheme of 18 November 2003.⁹⁸ As a condition of the Heritage Council's support for the development, it required among other things that a final conservation plan be prepared and used as a basis for a heritage agreement. In February 2003, Hocking Planning & Architecture were commissioned to prepare this conservation plan and to progress a heritage agreement between the owners of the *Raffles Hotel* and the Heritage Council of Western Australia. The Western Australian Planning Commission gave Approval to Commence Development to the scheme on 5 March 2003. Shortly after, Multiplex began marketing the apartments under the name of 'Raffles Waterfront' and gave particular emphasis to the proximity of the proposed apartments to the river and the views afforded from the various levels of the development.⁹⁹

In August 2003, the Raffles continued to be owned and managed as a hotel and motel by Appin Investments.

⁹⁵ Palassis Architects, *Raffles Hotel Draft Conservation Plan*, August 2001, unpublished report. Figure 57, p. 82.

⁹⁶ Heritage Council of WA, database 01544.

⁹⁷ City of Melville Department Approval dated 13/01/2002 (sic 2003).

2.7 Historical Images

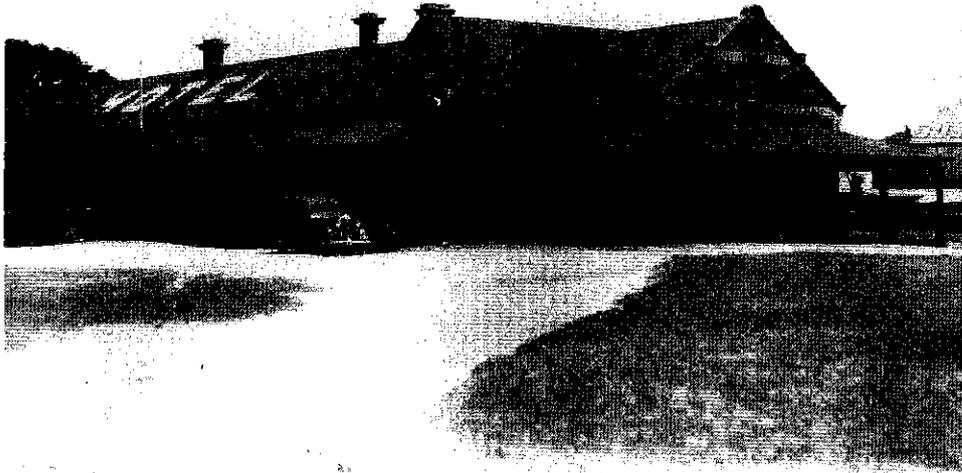


Figure 3 Canning Bridge Hotel c.1925. Note 'blood and bone' banded brickwork. Courtesy of Appin Investments.

⁹⁸ Letter from Heritage Council of WA to Multiplex, 18/11/2002.
⁹⁹ Website www.raffleswaterfront.com, accessed 21/05/2003.



Figure 4 Canning Bridge Hotel before redevelopment in 1937. Note brickwork has been painted a light colour. Courtesy of Art Deco Society of Western Australia.



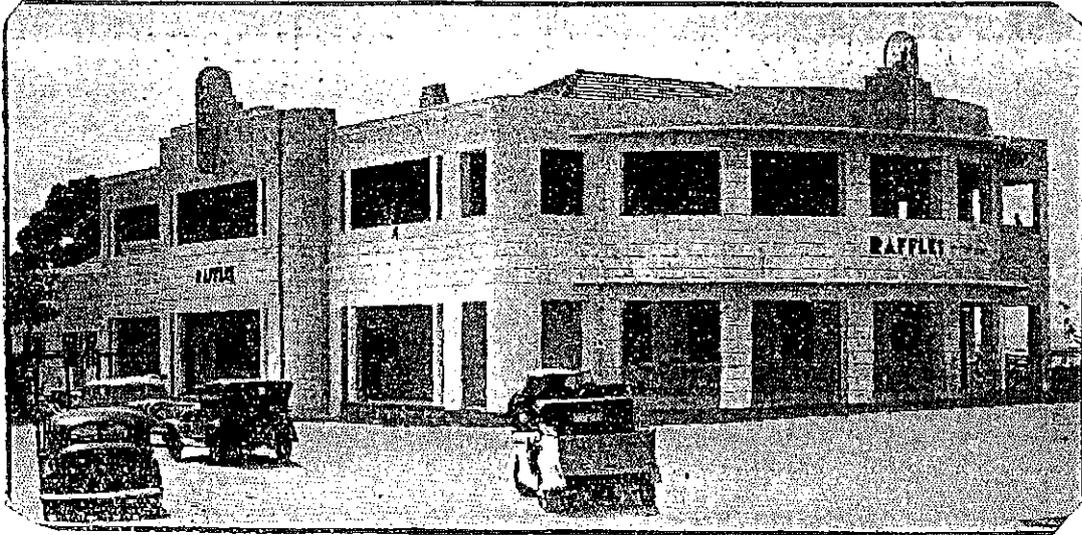
Figure 5 Woodcut of the proposed remodelling of Canning Bridge Hotel. Delineator unidentified. Courtesy of Appin Investments.



Figure 6 Construction of the new Canning Bridge in 1938. Note earlier bridge at left and finned parapet of Raffles in centre at rear. Courtesy of Appin Investments.



Figure 7 Canning Bridge c.1938. Courtesy Art Deco Society of Western Australia.



THE HOTEL RAFFLES.

Figure 8 Raffles Hotel following remodelling in 1937. Building and Construction Journal.

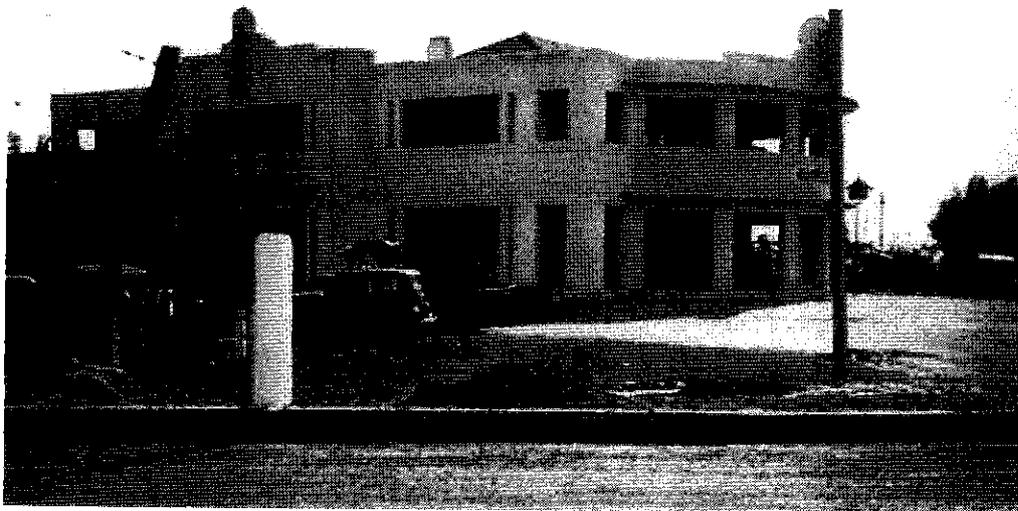


Figure 9 Raffles Hotel shortly after 1937 development. Courtesy Art Deco Society of Western Australia.



Figure 10 Remodelled Raffles Hotel in the 1940s. Oval grassed area contains curved beds of Canna lilies and frangipani (Plumeria sp.). In the right background the trees of the Biergarten can be seen. Courtesy of Appin Investments.



Figure 11 Biergarten c.1937. Courtesy Art Deco Society of Western Australia.



Figure 12 Interior of Main Lounge of Raffles c.1937 showing inglenook and fireplace at rear right. Courtesy of Art Deco Society of Western Australia.



Figure 13 Reception desk of Raffles Hotel after 1937. Courtesy of Art Deco Society of Western Australia.

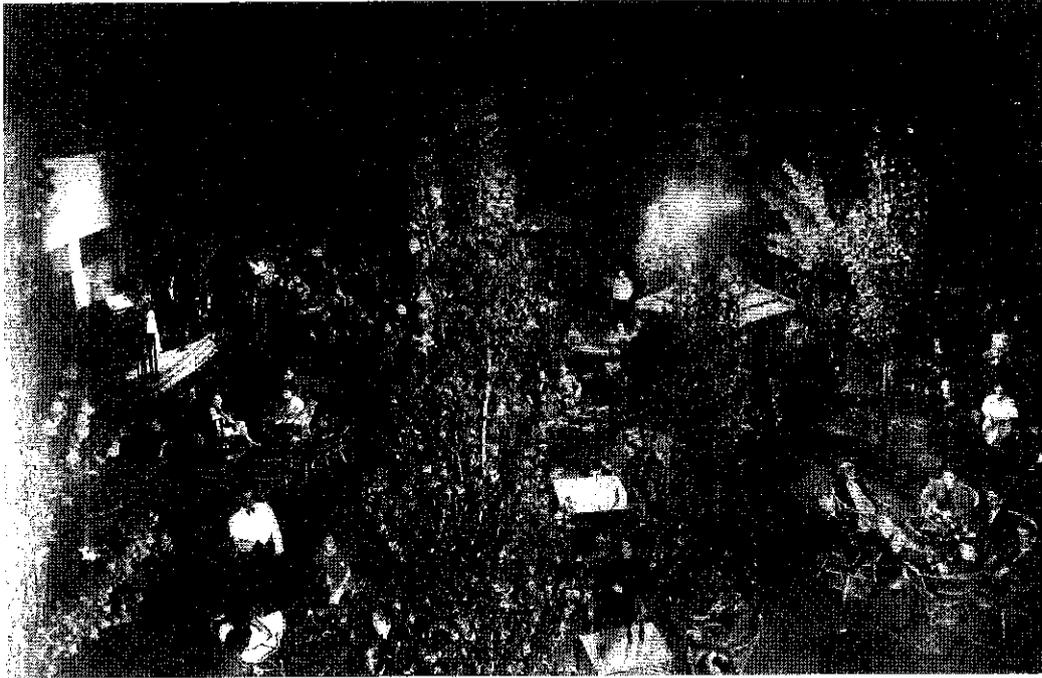


Figure 14 Biergarten (eastern riverside beer garden) c.1945. Courtesy Appin Investments.



Figure 15 Bottleshop in the late 1960s. Courtesy of Appin Investments.



Figure 16 The east elevation of the Raffles Hotel in the late 1960s. Courtesy of Appin Investments.

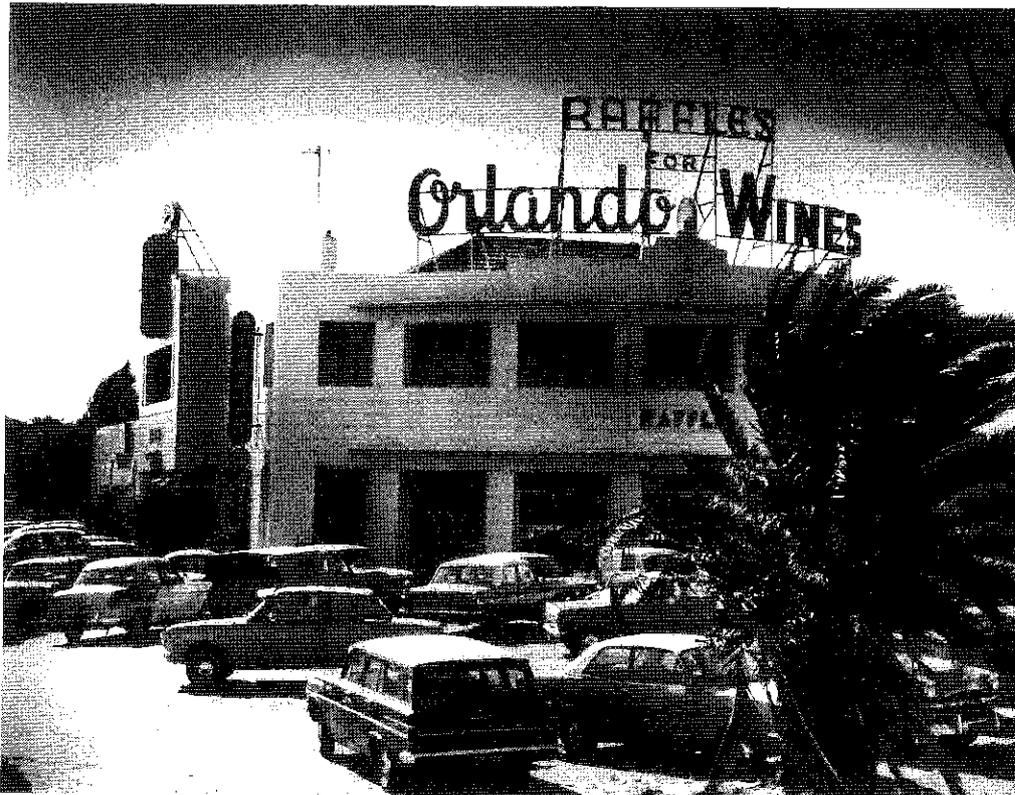


Figure 17 The Raffles Hotel in the late 1960s. Courtesy of Appin Investments.



Figure 18 Bottleshop and entrance to cocktail bar c.1980. Courtesy of Appin Investments.



Figure 19 East elevation of the Raffles Hotel c.1980. Note blue canvas awnings. Courtesy of Appin Investments.

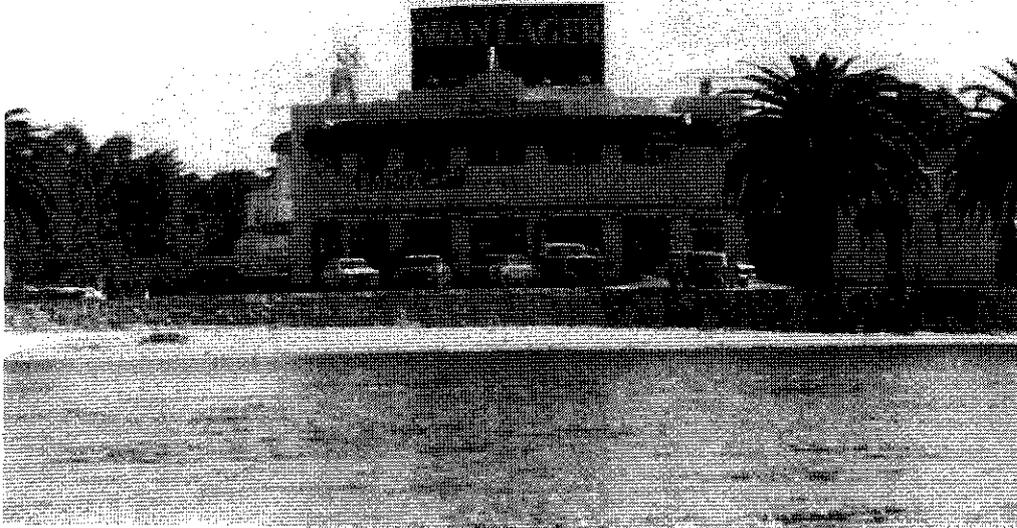


Figure 20 East elevation of the Raffles Hotel c.1980. Courtesy of Appin Investments.



Figure 21 Bottleshop c.1960s. Courtesy of Appin Investments.



Figure 22 Easternmost public bar in the late 1950s or early 1960s. Note view through to beer garden at rear right. Courtesy of Appin Investments.



Figure 23 Main Lounge in the late 1950s or early 1960s. Courtesy of Appin Investments.



Figure 24 Saloon bar in the late 1950s or early 1960s. Note door from 1896 scheme at left rear. Courtesy of Appin Investments.



Figure 25 The open shed on the location of the beer garden which was to become Raff's Nightclub. Courtesy of Appin Investments.



Figure 26 The former open shed enclosed with glazed walling. The steel roof trusses are draped with fabric. Courtesy of Appin Investments.



Figure 27 Tropical Lounge of the Raffles Hotel. Undated. Courtesy of Appin Investments.

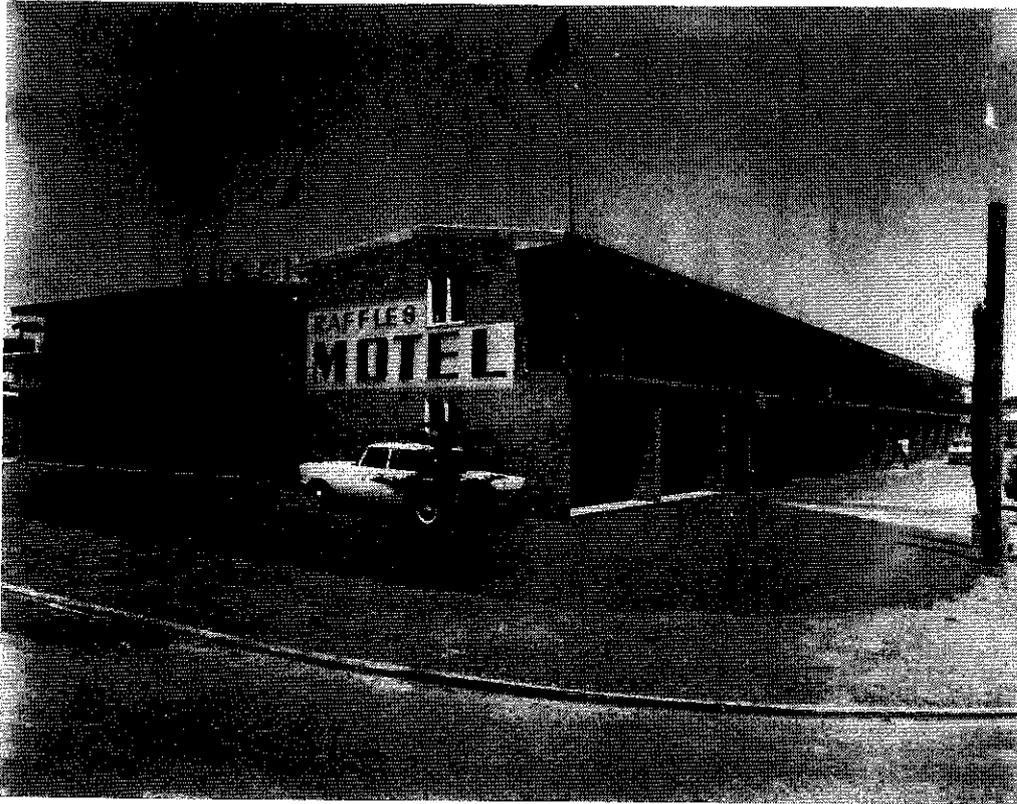


Figure 28 Raffles Motel c.1965. Courtesy of Appin Investments.

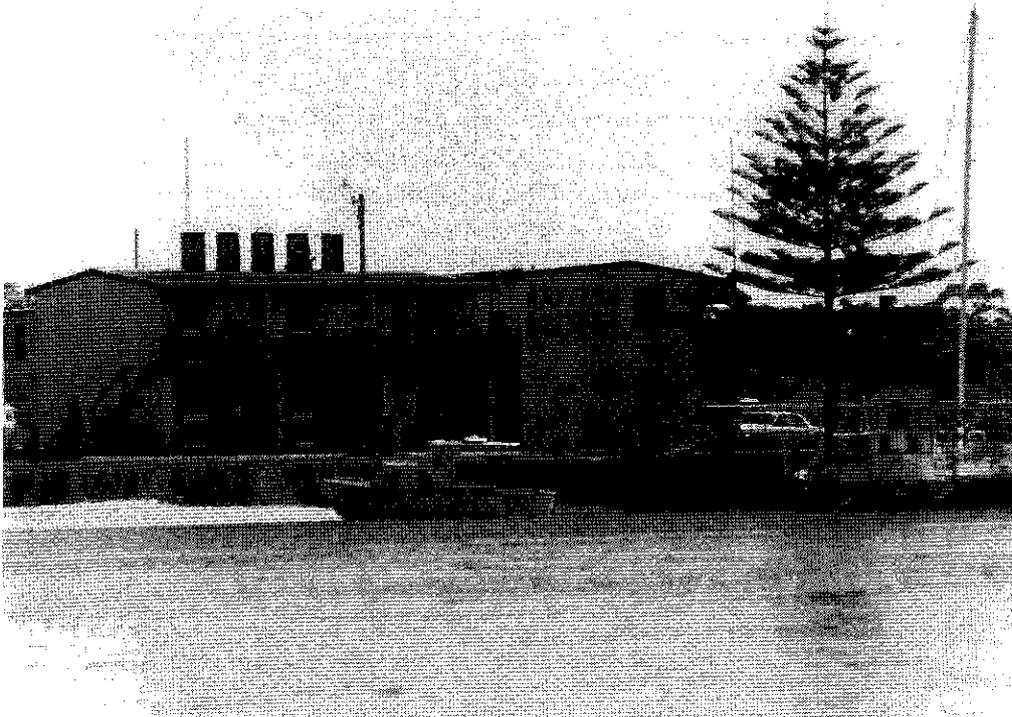


Figure 29 Raffles Motel c.1980. Courtesy of Appin Investments.

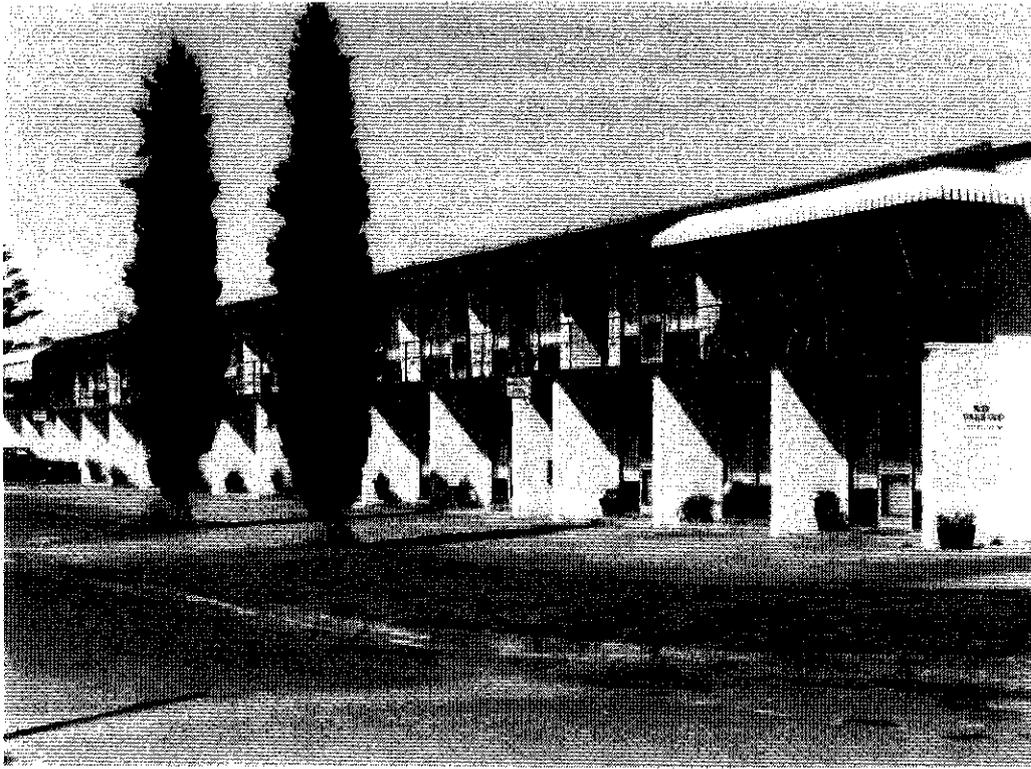


Figure 30 Raffles Motel c.1980. Courtesy of Appin Investments.

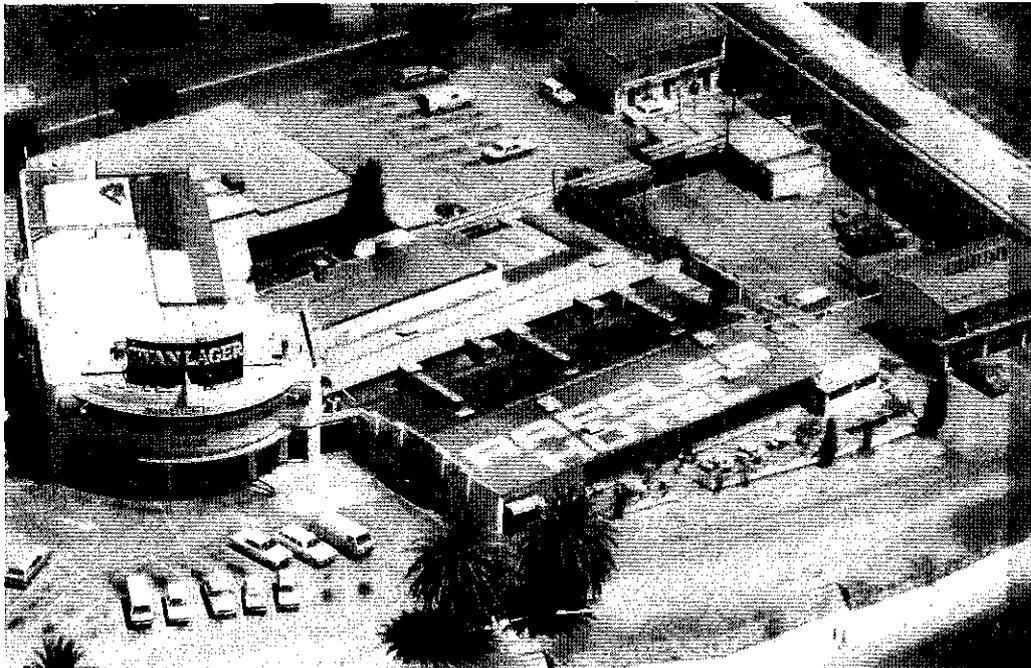


Figure 31 Oblique aerial from east c.1985. Courtesy of Appin Investments.



Figure 32 Oblique aerial from north c.1970. Courtesy of Appin Investments.



Figure 33 Oblique aerial from northwest mid 1960s. Note shed on the site of the original beer garden (Biergarten) is open-sided. Courtesy of Appin Investments.



Figure 34 Oblique aerial from south c.1970. Note shed on the site of the original beer garden (Biergarten) has been extended to join with the north wing of the hotel and it is open-sided on its southern end. Courtesy of Appin Investments.



Figure 35 The south and east elevations of the Raffles Hotel in the early 1960s. Courtesy of Appin Investments.



Figure 36 The motel c.1960. Battye Library.

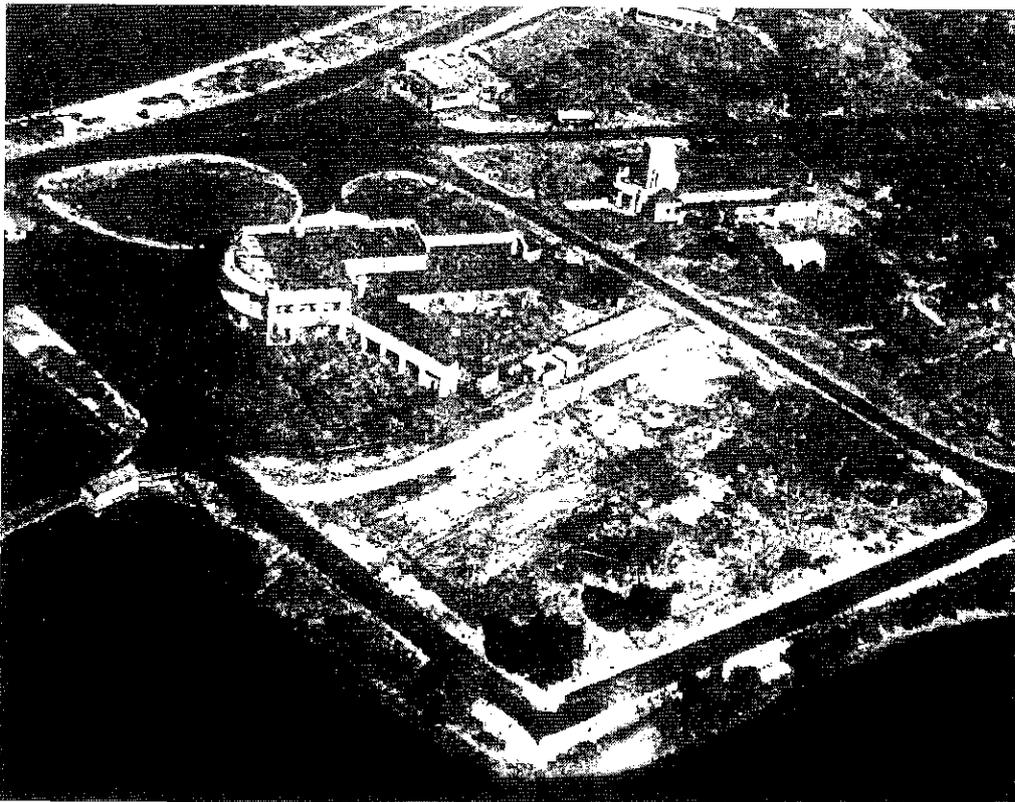


Figure 37 Oblique aerial from northeast showing relationship between Raffles Hotel and Applecross District Hall. Circa 1940. Battye Library.

2.8 People Associated With The Place

2.8.1 William G. Bennett (1896 – 1977) Architect Of The Raffles Hotel

William Garnsworthy Bennett was born in Linton, Victoria on 22 May 1896. He came to Western Australia with his parents in 1910, and as a young man served his articles with F. J. Coote and Messrs Eales and Cohen. He later entered into partnership with Eales and Cohen and practiced with them for six years. Bennett was the first locally trained architect to pass the Architects Board Examination in July 1924 and was registered as an architect in October of that year. He became an Associate of the Royal Institute of Architects of W.A. in February 1925, and was awarded its first bronze medal in that year.¹⁰⁰

In 1936, Bennett set up his own practice in Yorkshire House in St Georges Terrace, Perth. His practice included architects E. T. Dickens and Nancy L. Allen and a number of articulated students. Bennett made a considerable contribution to Western Australian architecture. Works include various Road Boards, Shire Offices, Infant Health Centres, Masonic temples, churches and schools. Major works include the Forrest Olympic Swimming Pool (1938) in Kalgoorlie, the Plaza Theatre and Arcade in central Hay Street (1937) (see page 110), the Regal Theatre (1938) in Subiaco (see page 111), and numerous hotels such as the Scarborough Beach Hotel (1938, demolished), the Ocean Beach Hotel (1936), and the Majestic Hotel at Applecross (demolished).¹⁰¹ He also designed some of Perth's more prominent homes of the 1930s. The C. S. Dyer house (1938) on the Esplanade, South Perth, was one of Bennett's more notable domestic buildings. This two-storey house is a fine example of the Inter-War Functional style, and in common with the *Raffles Hotel*, it was designed to take advantage of the views over the Swan River.¹⁰²

¹⁰⁰ According to research by the Art Deco Society of WA, Bennett was the first West Australian to hold the positions of President of the Royal Australian Institute of Architects, and President of the Royal Australian Planning Institute.

¹⁰¹ See profile of William G. Bennett by Vyonne Geneve in the Art Deco Society of WA Newsletter, July/August 1992, Vol. 5, No. 4.

¹⁰² The house was designed to take advantage of the river views with large windows and two 'sun baking decks' on the first floor level. The home was featured in the November 1938 issue of the national magazine *Decoration and Glass*.

3.0 PHYSICAL EVIDENCE

3.1 Introduction

The physical evidence is based on inspections undertaken between February and May 2003 by Hocking Planning and Architecture as well as on earlier assessments of physical evidence. Invasive investigations were undertaken by Mark Appleyard of Intonhouse Carpentry Services under the supervision of Hocking Planning and Architecture in May 2003.

The physical evidence section that follows provides:

- The context of the buildings/features within the landscape/setting;
- A description of the current function of the place and buildings; and
- A description of the surviving fabric (including any artefacts/movable heritage) for each physical element.

The following features/buildings are discussed under separate sub-sections:

- The southern forecourt;
- The Raffles Motor Lodge;
- The Raff's nightclub;
- The bottleshop; and,
- the Raffles Hotel 'heritage' core.

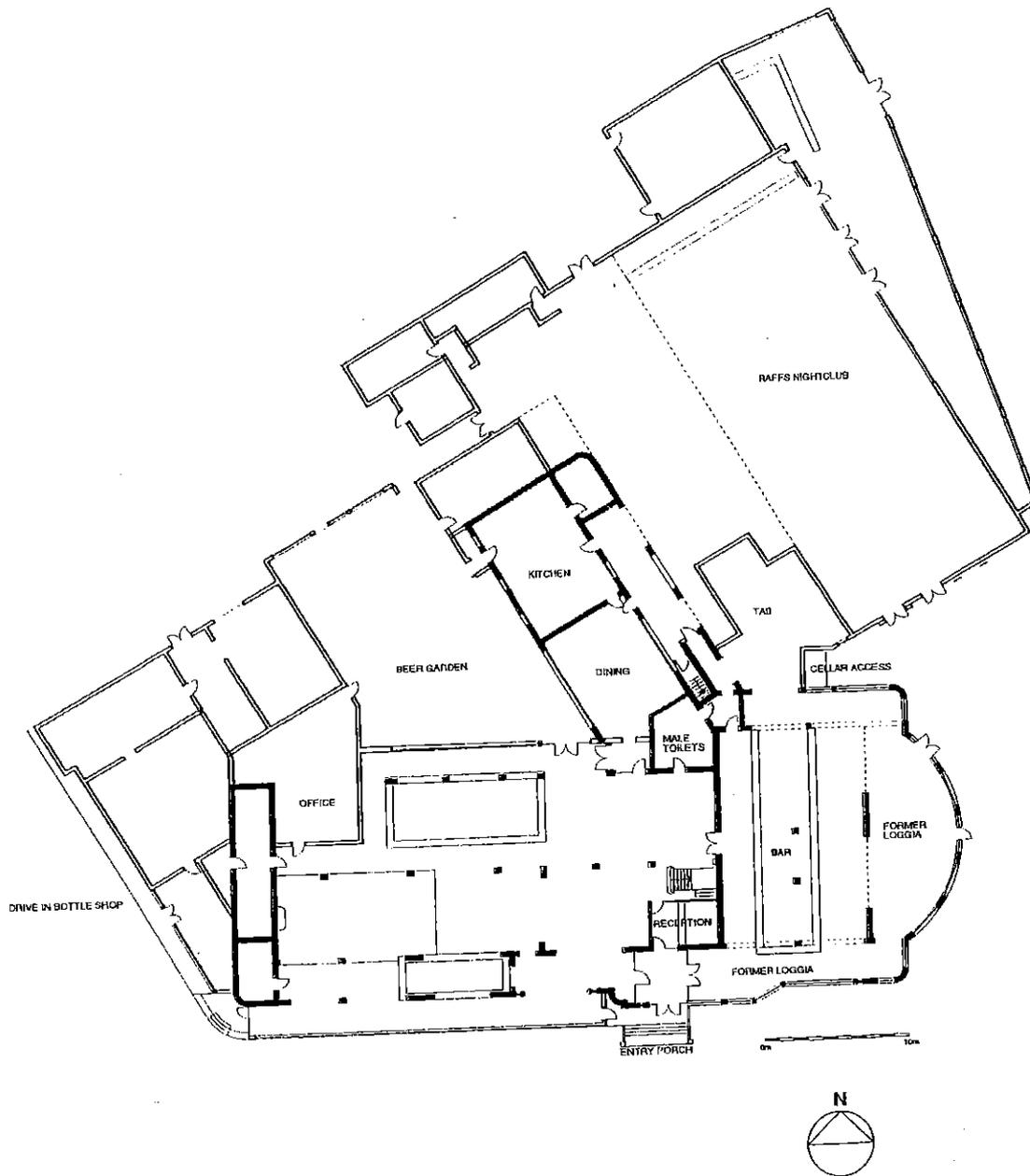


Figure 38 Sketch plan of ground floor of Raffles Hotel 'heritage' core. From Palassis Architects' draft Conservation Plan, August 2001.

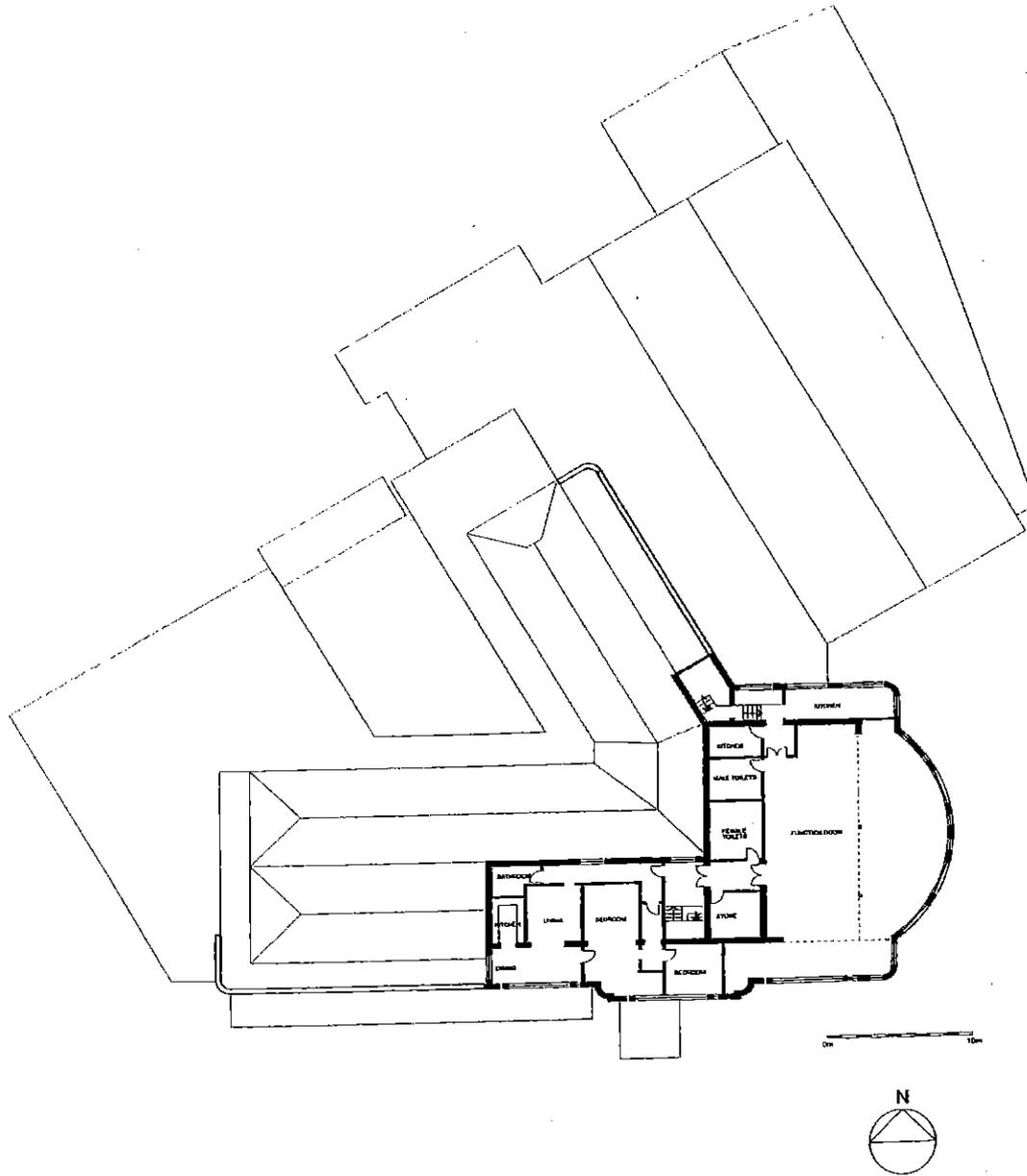


Figure 39 Sketch plan of first floor of Raffles Hotel 'heritage' core. From Palassis Architects' draft Conservation Plan, August 2001.

Current photographs are presented and include documentation of invasive investigations undertaken to determine the extent and authenticity of underlying fabrics. These photographs (Figure 41 to Figure 121) are included in this section on pages 64 to 104.

Room by room schedules were prepared for the Raffles Hotel 'heritage' core in March 2003 and note the nature of the principal elements, their condition and authenticity. These schedules are included as

Appendix A - Physical investigation schedules. Other buildings/building parts on site are not significant under the HCWA criteria and room schedules for such buildings have not been provided.

3.2 Context and setting

Raffles Hotel, a complex of buildings dating from 1896 to the 1980s, is set to the northwest of the foot of Canning Bridge on the western shore of the Canning River near its confluence with the Swan River. The Canning narrows at the site of the Raffles where the bridge has been constructed over a stretch of river known as Hell's Gate. The Raffles Hotel building is set behind a forecourt which extends south to Canning Highway and east to the Canning River foreshore. The forecourt is enclosed spatially by the length of the Raffles on its northern side and at its western end by the Applecross District Hall (aka Tivoli) whose central tower provides a terminal focus to the view from the Canning Bridge. The forecourt open space is visually open to the Canning River foreshore south of Canning Highway and to the river north of the bridge to the east. The complex of bridge, Hall, Raffles and open space provide a landmark entry statement to the City of Melville at its eastern boundary.

From the east of the site there are views across Canning River to the Kwinana Freeway and Como. From the north of the site there are views across Melville Water to Kings Park and the city.

Canning Beach Road bounds the site on the west. This is a dogleg of larger road that skirts the foreshore north of the site. In this location it is effectively a short street partly lined with Coral Flame trees on both sides. Views to the water are visible at each end of the street giving the land east of the street on which the Raffles sits some of the feeling of being on a peninsular jutting into the river.

The core of the Hotel, which comprises the fabric of the 1896 Canning Bridge Hotel and the 1937 remodelling, is set back approximately 40 metres from Canning Highway to provide on-site car parking on the southern and eastern sides of the building.

3.3 Current function of the place and buildings

The Raffles Hotel currently functions as a hotel/motel/tavern. Short stay residential accommodation is provided within the Raffles Motor Lodge. A manager's flat provides long-term accommodation to the Manager on the first floor of the Raffles Hotel core. The

first floor of the hotel also provides a function room. The ground floor rooms of the hotel and Raff's nightclub provide three tavern bars, a dining room and a kitchen together with a small amount of office and reception space.

3.4 Description of Surviving Fabric

3.4.1 The southern forecourt

The southern forecourt is a largely bitumen paved open space to the south of the Raffles Hotel which extends approximately 40 metres south to Canning Highway and east to the Canning River foreshore. The strong relationship of the built forms of the Raffles southern and eastern elevations and that of the Applecross District Hall form up strong views and axes that cross the southern forecourt. These views/axes include the view south to the Canning River, the view east to the Canning Bridge and River and the views between the Canning Bridge Applecross District Hall and the Raffles Hotel.

Plantings of the southern forecourt include three Canary Island palms (*Phoenix canariensis*) which frame the view from Canning Bridge to the eastern elevation of the Raffles Hotel. Another palm is planted further north along the foreshore. There is little other planting within the forecourt except for Indian flame trees (*Erythrina indica*) used as street trees along Canning Beach Road.

Close to the centre of the open space is a tall illuminated steel sign.

A small section east of the Raffles Hotel core and south of Raff's nightclub is paved with bricks.

3.4.2 Raffles Motor Lodge

The Raffles Motor Lodge occupies the northern part of the site and comprises three two-storey blocks of self-contained motel units. Stylistically they are ordinary buildings of their time with characteristics of the Post-War International style including cubiform overall shape, plain, smooth wall surface, large sheets of glass and an overhang for shade. They are constructed of brick walls with glazed infill walls and an asbestos sheet roof. The units at first floor level are accessed off an open-air walkway with steel balustrade.

3.4.3 The Raff's nightclub

The Raff's nightclub is a large enclosed single storey former shed with a low pitched steel truss roof clad in corrugated asbestos sheet and a carpeted concrete floor. A masonry

façade has been added to the short southern end of the building. This façade has a stepped parapet and has piers that are banded with sunken shadowlines to emulate the 1937 adaptations of the hotel.

Internally, the structure is fitted out in dark colours with walls and floors carpeted. There are several island bars throughout the low-ceilinged space. The interior space and external structure of the former shed abut the former loggia of the Hotel core's northern wing and this area has been given a similar treatment of finishes as the nightclub as a whole. At the northern end, masonry walled toilets enclose the space while on the eastern side the space has been further extended and the walls glazed to form the 'River Lounge'.

3.4.4 The bottleshop

The drive-in bottleshop is an annex to the western end of the hotel core. It has roof with a deep metal fascia. Much of the external wall is made up of bottle fridges, the rest is glazed with aluminium-framed glass.

3.4.5 the Raffles Hotel 'heritage' core

The Raffles Hotel 'heritage' core sub-section is discussed under further sub-sections as follows:

- Exterior form;
- Ground floor (north wing, south wing and eastern section);
- First floor (function room and Manager's flat);
- Basement;
- Beer garden; and,
- Movable Heritage.

3.4.5.1 Exterior form

Little physical evidence of the 1896 Canning Bridge Hotel is apparent from the exterior form of the core of the Raffles Hotel. What earlier evidence is visible includes the general orientation and plan form of the building together with the single storey roof forms. The fabric of the exterior confirms the 1937 remodelling has largely remained intact with only minor intrusions and loss of exterior fabric.

The core of the hotel is a stepped single and two-storey asymmetrical composition of rendered masonry with parapets partly concealing metal clad roofs. In plan form, the composition comprises a large rectangular block (approximately 45 metres x 20 metres) orientated east west with a shorter spur wing angled northwest from near the eastern end of the main block. The northern spur wing is a subordinate element in the composition as it is single storey, angled back and away from the principal aspect to the building and also because it is embedded within the large accretion of the Raff's nightclub.

The east west or southern wing is the strongest element in the composition. The eastern half is two-storeyed and its orientation towards Canning Bridge emphasises this aspect to the place. From Canning Bridge both the eastern and southern facades can be read together and it is from here that the asymmetry of the composition is most apparent. Although the composition is asymmetrically arranged, the main elements that comprise the southern and eastern facades are each symmetrical. These facades have been altered principally by the infill of loggias and porch openings by aluminium framed glazing. Most of the earlier inner walls to the loggias have been removed. The remnant loggias are on the southern and eastern sides of the building at ground and first floor level. Remnant inner walls of loggias are discussed below in the section dealing with interiors.

The 1937 walls of the southern and eastern facades are rendered and articulated with parallel banding of shadow-lines that emphasise the horizontality of the composition. Outer corners of the building on the southern and eastern sides are rounded.

The southern façade's two storey eastern section is largely symmetrical and comprises three bays extending to both storeys. The central bay projects from the façade with rounded corners. Each bay has a broad opening at the ground and first floors. With the exception of alterations to the central and eastern bay on the ground floor, inset octagonal columns in line with the wall flank these openings. The columns have capitals effected by the thickening of the column in three shallow steps – a motif repeated on soffits and concealed original ceilings elsewhere in the building. The right hand side of the central bay has had its masonry cut out and has been infilled with aluminium framed glazing although the octagonal columns have been retained. The openings on the first floor repeat those of the ground but only extend down to balustrade level. To further emphasise the central bay, the wall finish is smooth with 'Raffles' expressed in low-relief stylised geometric lettering. The parapet over the central bay steps shallowly higher and features a central vertical fin. This fin also has signage in the form of low-relief lettering ('Hotel') on each side although this is in a serif font. Illuminated signage is fixed above the fin.

The western section of the façade drops to single storey but continues the banded rendered parapet walling. Within the building, several broad openings without inset columns can be read, however, a lower height skillion annexe has been added to the southern façade. A metal canopy on posts has also been installed in front of the central bay's main entrance.

The eastern façade is, perhaps, the most prominent as it projects out in a deep curve from the basically rectangular plan. This elevation repeats the broad loggia openings of the southern façade but eliminated the vertical emphasis by not having the octagonal columns. Instead the openings read as perforations in a continuous banded curved surface. This gives this part of the building somewhat of the form of the bridge of an ocean liner. This is reinforced by a continuous cantilevered concrete hood at each storey which curves around the faced. These hoods have shallow steps in their soffits. Like the southern façade, the parapet has shallow steps to a central fin. Both the stylised 'Raffles' signage and the serif font 'Hotel' on the fin are repeated at the midpoint of the arc. Above the curved façade is a large animated neon lit sign which adds to the apparent height of this section of the building and reinforces the strong landmark views to the site at night.

The façade treatment continues on the northern side where it returns to the northern spur. The parapet of the northern spur is visible above that of the Raff's nightclub when viewed from the first floor.

The southern and eastern facades have a number of accretions including a border of flashing lights, a band of neon, remnant fixings for canvas canopies and flagmasts.

The western and northern facades comprise the 'rear' of the building. The western façade is principally occupied by the bottleshop (see page 57). From the rear and west, the roof of the one storey section of the southern wing is apparent. It is metal clad and comprises two parallel hipped roofs. There are several single storey brick extensions to the western end which partly enclose a beer garden (see page 63) in the acute angle formed by the northern spur and the southern wing. A lean to extension has been added to much of the northern side of the west section of the southern wing. Its outer wall is fully glazed. The earlier wall to the northern side of this wing has been removed to open up more interior space.

The northern spur provides the most intact physical evidence of the 1896 hotel. The wing has a gambrel roof which is parapeted with the 1937 loggia on its eastern side. Part of its western wall appears to have previously been opened up then rebuilt in part in thinner masonry and with a large aluminium framed window. The northern end of the building has

shallow arched window openings consistent with the end of the nineteenth century although the joinery has been lost from these and they have been infilled with masonry and aluminium windows. Some door joinery in this section appears consistent with an 1896 construction date.

Overall, the strongest evidence of stylistic characteristics of the hotel derives from the external form of the hotel core. Stylistically the building is Inter-War Functionalist with elements of the Inter-War Art Deco style. The table below shows an analysis of the identifying characteristics as apparent in exterior form of the Raffles Hotel core.

Inter War Functionalist style		Inter War Art Deco style	
• Asymmetrical massing	Yes	• Emphatic vertical piers or fins	In part
• Simple Geometric shapes	Yes	• Stepped skyline or silhouette	In part
• Columns not emphasised or behind glass	In part	• Concentration of ornament on upper part of building	No
• Long Horizontal spandrel or balcony	No	• Tower	No
• 'Ribbon' window	No	• 'Accordion' or 'pleated' windows	No
• Roof concealed by parapet	Yes	• Ornamental metal window grilles	No
• Cantilevered balcony or hood	Yes	• Monumental entrance	In part
• Stairs expressed by vertical emphasis	No	• Polished granite or marble base	No
• Semicircular wing	Yes	• Coloured glazed terracotta (faience) facing	No
• Rounded corner	Yes	• Stylised low relief ornament	No
• Metal-framed windows	No	• Stylised high-relief figures	No
• Corner window	No	• Chromium plated trim	No
• Curved glass	No	• Stylised lettering	Yes
• 'Vitrolite' structural glass	No	• Parallel line motif	Yes
		• 'Vitrolite' structural glass	No
		• Zigzag or chevron motif	No

Figure 40 The table above shows the identifying characteristics of the two styles evident within the core of the Raffles Hotel.

Key views to and from the place are set out in the table below.

View to	View from
• Canning Bridge and Hell's Gate	• First Floor function centre
• Canning Bridge and Hell's Gate	• Ground floor east bar
• Canning River South of Bridge	• Ground Floor east bar and west bar
• Kings Park and City Skyline	• North part of site
• Eastern Elevation of Hotel	• Canning Bridge

- Eastern and Southern Elevations and southern open space
- Southern Elevations and southern open space
- Southern Elevation and southern open space
- Across southern open space to Applecross District Hall
- Applecross District Hall porch
- Canning Bridge
- West along canning highway
- Canning River south of bridge
- Canning Bridge
- Southern porch of Raffles

3.4.5.2 Ground floor (north spur wing, southern wing and eastern section)

The main entrance to the Hotel is from the southern central bay. The original porch or loggia has been glazed to form a foyer. The foyer has glazed aluminium-framed doors at each side and directly north of the foyer is a small stud-framed cubicle, which accommodates the reception to the Hotel. The cubicle is installed in the location of the original main lounge and is partly under the stair. The stair is one of the few remnant features of the 1937 scheme and has metal balustrades of a parallel line motif with timber treads, framing and handrail. The former main lounge retains its defining walls on its eastern side. To the north of the main lounge the location of the 1937 inglenook has been built up, fireplace removed and fitted out as the men's toilet. The western side of the main lounge has had its walls removed to open out the space. The walls have been replaced with columns and sections of concrete floor were visible upon invasive investigation. The two columns in the centre of the former main lounge are sheathed in a spray on vermiculite like finish invasive investigations showed that beneath this finish they are plastered masonry suggesting that they are those of the 1937 scheme (see Figure 110 on page 99).

At the western end of the lounge, the former Tropical Lounge has been opened out by the removal of internal walls and their replacement with columns. On the west wall of the lounge, a masonry fireplace rendered with sunken horizontal shadow-lines similar to the facades remains in place and is the second main interior feature that remains from the 1937 scheme – the other being the stair. Invasive investigations into the ceiling space show that the 1937 fluted and stepped ceilings remain in place above the vermiculite covered plasterboard and coved cornice ceilings to these areas (see Figure 119 on page 103).

The western part of the southern wing including the entrance, main lounge and former Tropical Lounge has not only been opened up to but has been given a uniform decorative scheme by the spraying of wall and ceiling surfaces with a vermiculite type material and by carpeting the floors.

The eastern bar area occupies the eastern third of the southern wing together with the now enclosed loggias. The area was once comprised of two bars but the dividing wall has been

removed. Invasive investigations that removed the wainscoting show that underneath is the interior scheme from the 1950s or 1960s that is consistent with the acoustic tiled ceiling. It comprises wall and floor tiling of linoleum tiles in buff and green and extends to the outer wall (that is the area of the former loggia) indicating that the scheme was consistent with the enclosure of the loggias. Above the acoustic tiled ceiling is a ceiling consistent with the 1937 scheme (see Figure 118 on page 103). Almost all of the walls between the loggia and original interiors have been removed. A section remains in the eastern part of the bar. Invasive investigations to this section of wall confirmed that this wall was consistent with documentary evidence of the 1896 Canning Bridge Hotel's exterior wall (see Figure 116 and Figure 117 on page 102). Beneath the wainscoting, the masonry wall was rendered with an ordinary Portland cement render which was painted yellow below dado height and grey above. Beneath this layer, the masonry was painted a pale buff consistent with the 1937 colour scheme to the exterior visible elsewhere on the building or the colour may have been that evident in the 1920s before the remodelling of the building. The underlying masonry showed red brick and lime mortar masonry with a banding of stucco render below sill height. The surface of the brickwork was scabbled and red mortar was evident near the surface layer indicating that the brickwork may have originally been tuck-pointed.

The northern spur wing includes two principal rooms – the dining room and the kitchen. It also includes a small anteroom from the main lounge. The doorway from the anteroom to the dining room has no door but its architrave indicates both the 1896 and 1937 schemes. The northern face of the architrave is moulded in a late nineteenth century profile while the southern side is splayed consistent with the 1937 scheme. The dining room has plastered walls, carpeted timber floors and a flush ceiling with a fluted geometric cornice that is consistent with the 1937 scheme. The western wall has a low broad timber framed fixed window opening to the former loggia space now embedded in the Raff's nightclub. The eastern wall has a large section which appears to have been opened up and then rebuilt with a thinner wall thickness. This section has large sliding aluminium framed windows opening to the beer garden. The kitchen has a modern commercial kitchen fitout. Some window openings and doors in the kitchen appear to date from the 1896 fitout. The kitchen extends to the east into the former loggia areas now embedded in the Raff's nightclub.

Throughout, the original interior spaces have timber floors while the former loggia spaces have concrete floors. Most of the floors have been carpeted. The kitchen has a floor finish of vinyl sheet. Spot invasive investigations show that some areas of timber floor have been replaced with fibreboard sheeting.

3.4.5.3 First floor (function room and Manager's flat)

The first floor has two points of access from below. The principal access is from the stair in the main lounge that leads to a modest landing on the first floor. Like the ground floor most of the first floor internal walls to loggias have been removed and the outer openings of the loggias glazed in order to increase the amount of internal accommodation. Within the function room the eastern and southern loggias have been incorporated into interior space by the removal of walls that have been replaced with several steel posts. The northern loggia has been enclosed and fitted out as a commercial kitchen. The ceilings of the function room are flush plasterboard with coved cornices sprayed with the rough vermiculite finish similar to the ground floor. Where non-invasive access to the ceiling space was available no evidence of earlier ceilings was found. Invasive investigations in May 2003 of the function room showed that the timber floor to the former interior space (cf. concrete floored former loggias) is sheeted with compressed fibreboard.

There are several smaller rooms including toilets and storerooms west of the function room. These have recent fitouts although fixed louvre windows to the toilets indicate that these rooms may have had existed since 1937.

The Manager's Flat occupies the western part of the first floor and is accessed off the first floor stair landing. It comprises a suite of rooms including a kitchen, bathroom, living room, meals area and two bedrooms. The rooms are formed from the opening out of earlier smaller rooms to include the space of the former loggia the openings of which have been glazed.

Most joinery of the first floor is recent and not indicative of the 1937 scheme. Along the north side of the hall of the flat a section of wall surface is textured and there is a v-grooved run moulded dado which may be evidence of the 1937 scheme.

3.4.5.4 Basement

The basement is located beneath the eastern part of the front bar of the hotel. It is accessed from outside immediately north of the eastern former loggia. The basement is floored in concrete and is masonry walled. Part of the basement is lined with insulation and has been converted to refrigerated cool rooms. There is no evidence that the basement once extended further or had another entrance. There is no ramp or stair. No other basement areas have been located beneath the hotel.

3.4.5.5 Beer garden

The beer garden is set in the former yard at the northwest of the acute angle of the hotel core. It is brick paved with pergolas and planting beds planted with palms. This beer

garden is not the 'bier garten' referred to in the documentary evidence. That place has since been developed as Raff's nightclub.

3.4.5.6 Movable Heritage

The place contains objects of memorabilia associated with use of the place by groups associated with the place. Such memorabilia includes sporting trophies and pennants. Within the front bar on the western wall is a large mural painted in a naïve style. It depicts the evolution of the experience of crossing the Nullarbor in the second half of the twentieth century.

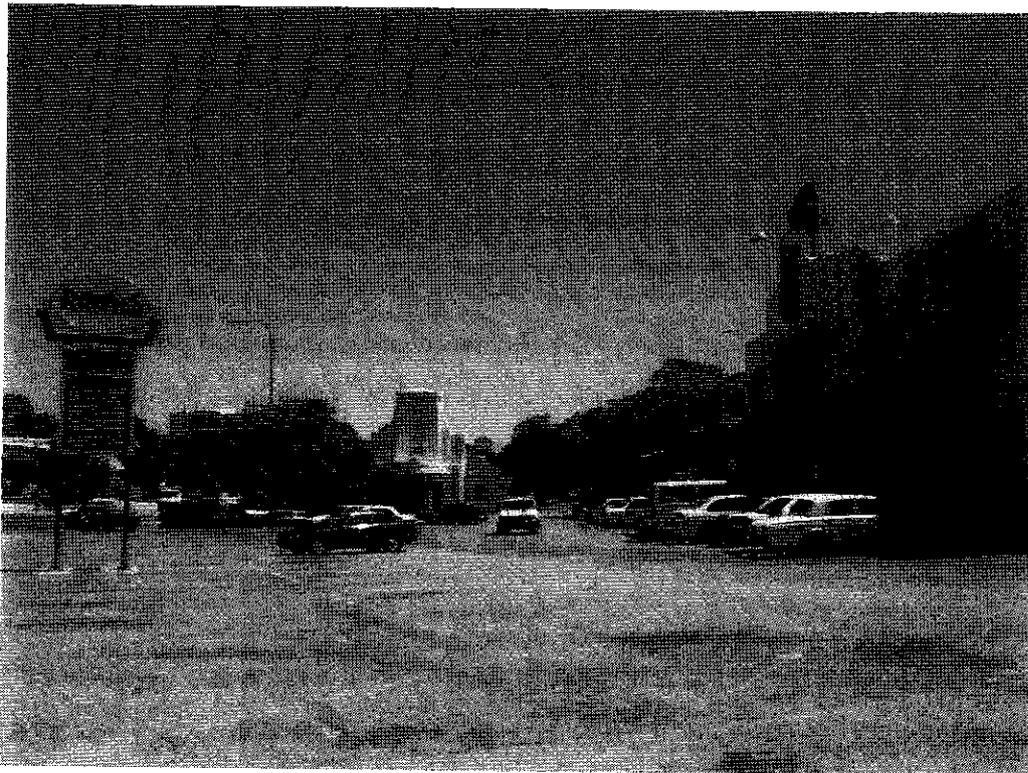


Figure 41 Forecourt of the Raffles looking west towards Applecross District Hall. Hocking Planning & Architecture (WDW). February 2003.



Figure 42 Raffles and Applecross District Hall viewed from the Canning Bridge. Hocking Planning & Architecture (WDW). February 2003.



Figure 43 Raffles viewed over Hell's Gate in Canning River. Hocking Planning & Architecture (WDW). February 2003.

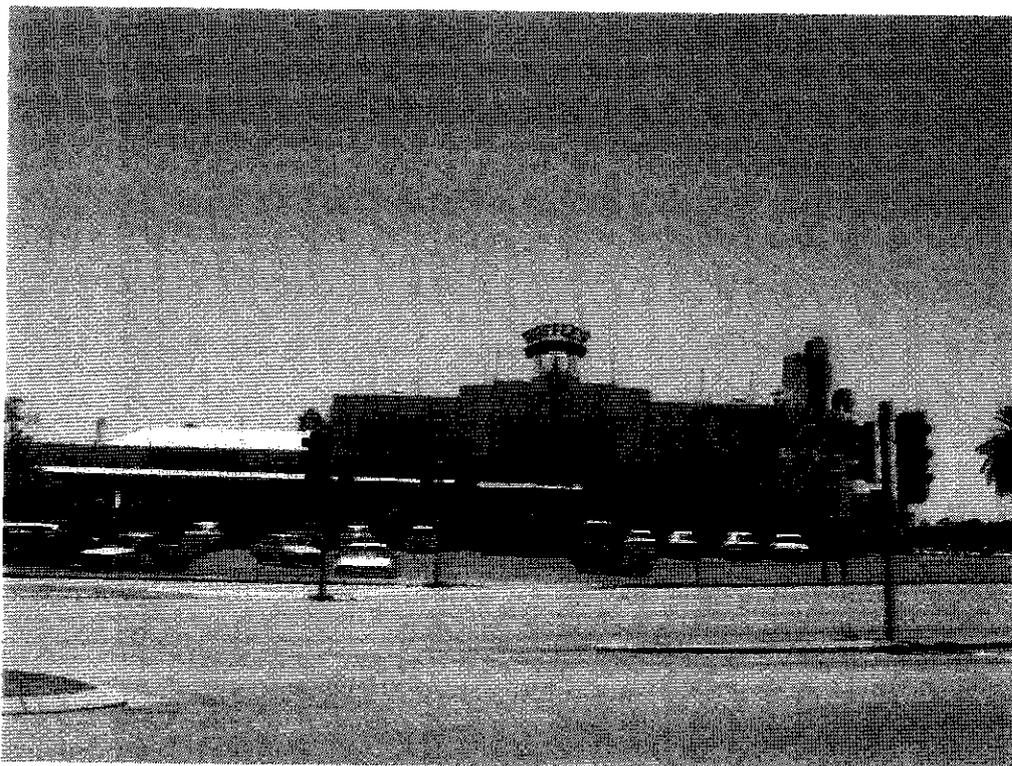


Figure 44 Southern elevation of Raffles Hotel with Canning Highway in foreground. Hocking Planning & Architecture (WDW). February 2003.



Figure 45 Southern elevation of Raffles Hotel showing skillion addition and entrance canopy. Hocking Planning & Architecture (WDW). February 2003.

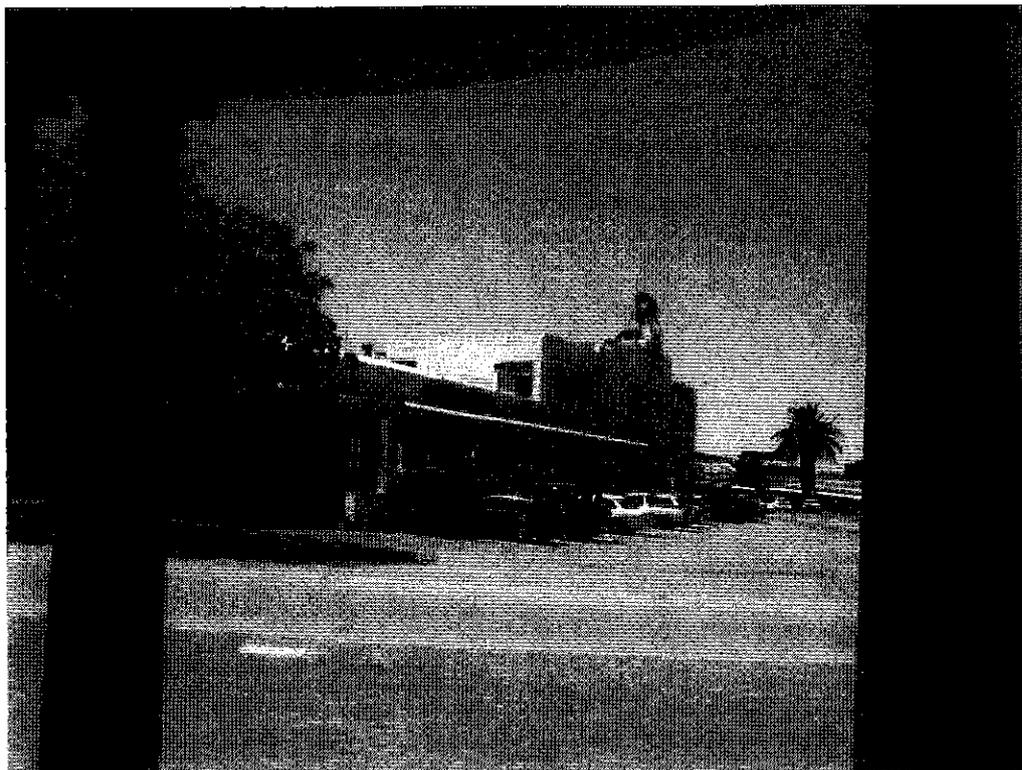


Figure 46 Raffles Hotel and forecourt viewed from porch of Applecross District Hall. Hocking Planning & Architecture (WDW). February 2003.



Figure 47 Bottleshop viewed from west showing coral flame trees. Hocking Planning & Architecture (WDW). February 2003.



Figure 48 View south along Canning Beach Road. Hocking Planning & Architecture (WDW). February 2003.

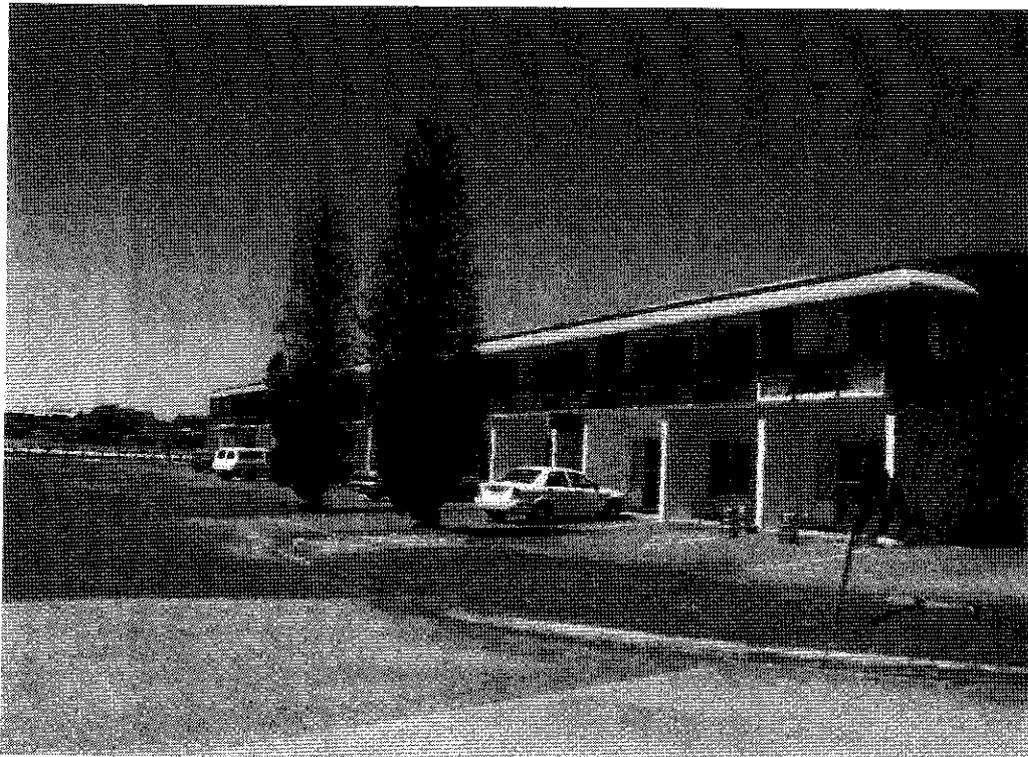


Figure 49 Motel units – northern block. Hocking Planning & Architecture (WDW). February 2003.

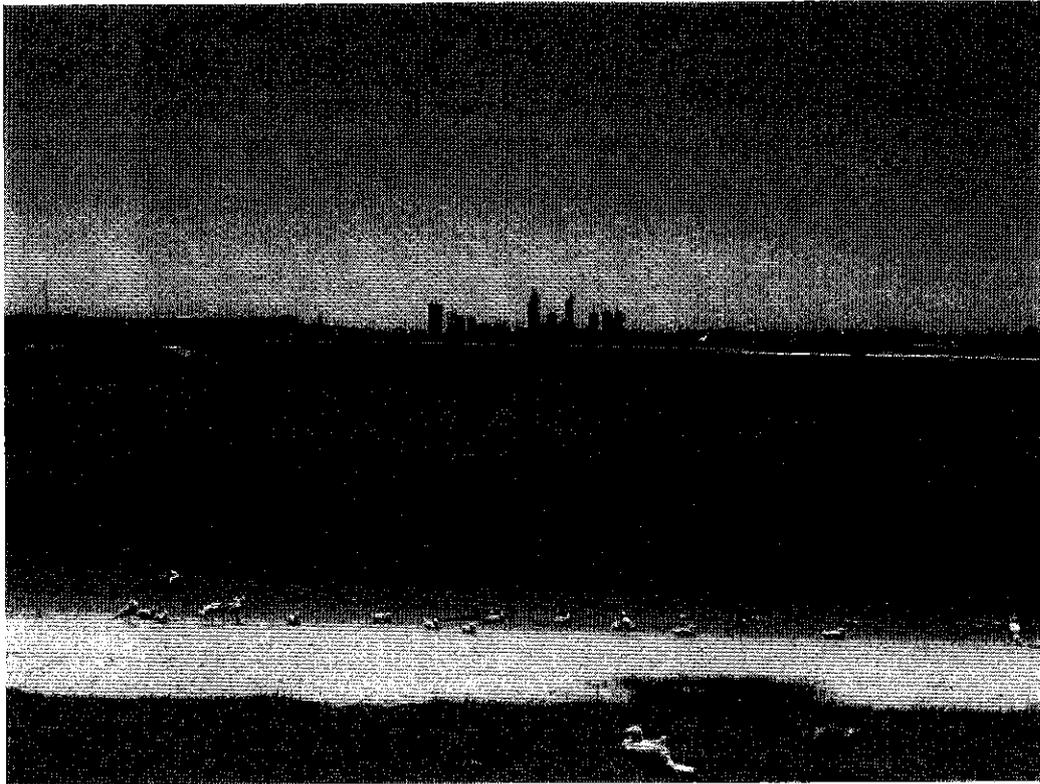


Figure 50 View north towards Kings Park and city from Raffles site. Hocking Planning & Architecture (WDW). February 2003.



Figure 51 North block of motel units. Hocking Planning & Architecture (WDW). February 2003.



Figure 52 East and north blocks of motel units. Hocking Planning & Architecture (WDW). February 2003.

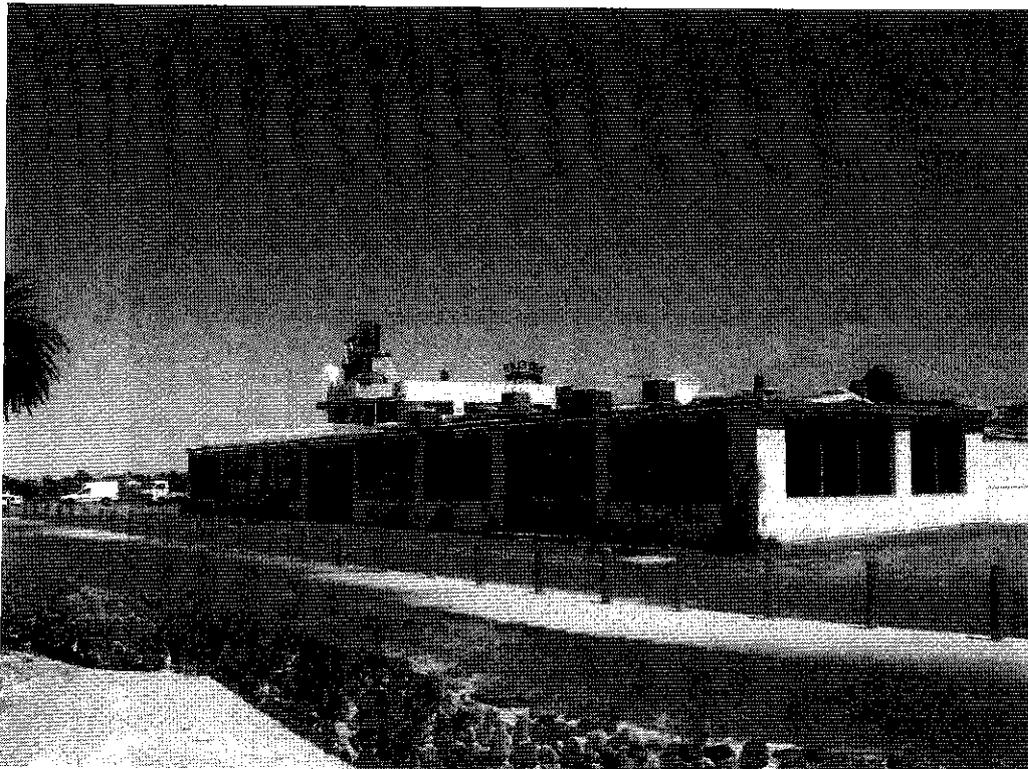


Figure 53 The glazed eastern wall of Raff's nightclub. Hocking Planning & Architecture (WDW). February 2003.

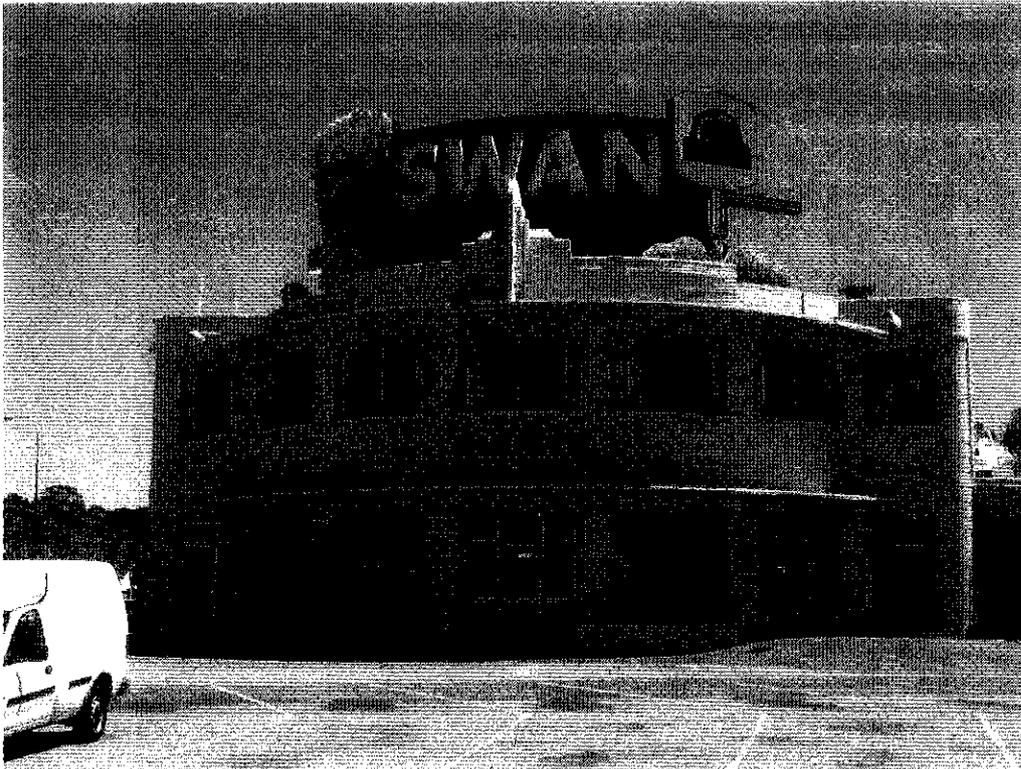


Figure 54 The eastern elevation of the Raffles Hotel. Hocking Planning & Architecture (WDW). February 2003.



Figure 55 Raffles Hotel and Applecross District Hall viewed from the Canning Bridge. Hocking Planning & Architecture (WDW). February 2003.



Figure 56 Early door opening to dining room showing modified splayed architrave. Hocking Planning & Architecture (WDW). February 2003.



Figure 57 Other side of previous door showing early (c.1896) architrave and skirting block. Hocking Planning & Architecture (WDW). February 2003.

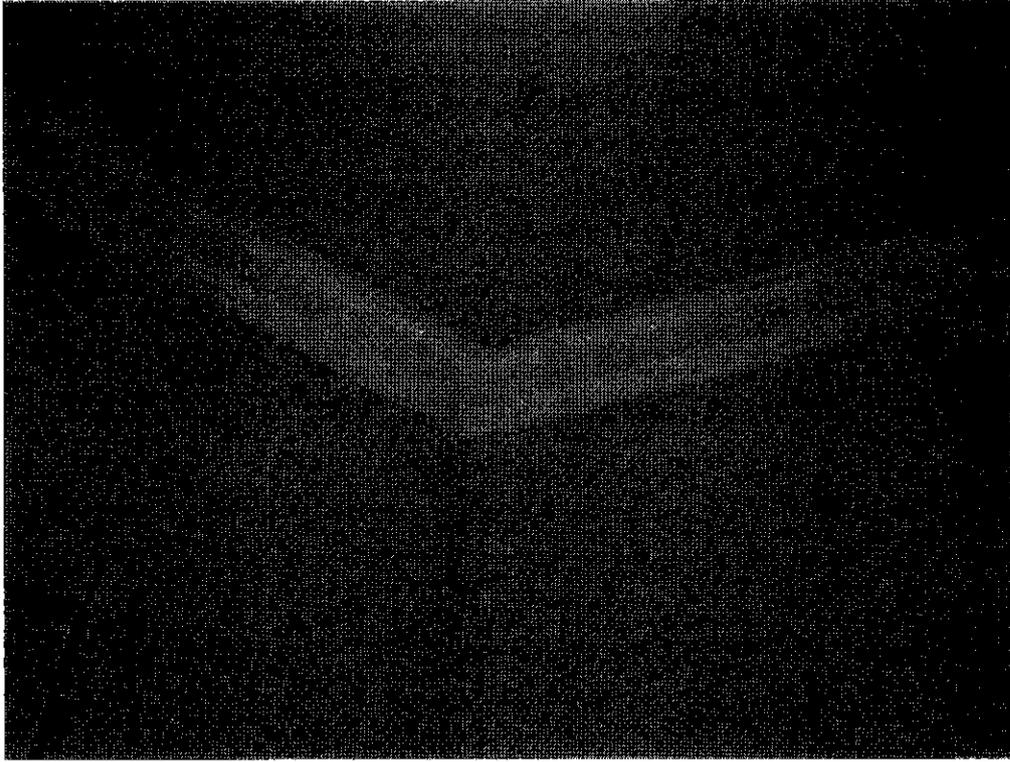


Figure 58 Inter-War Art Deco style cornice to dining room. Hocking Planning & Architecture (WDW). February 2003.

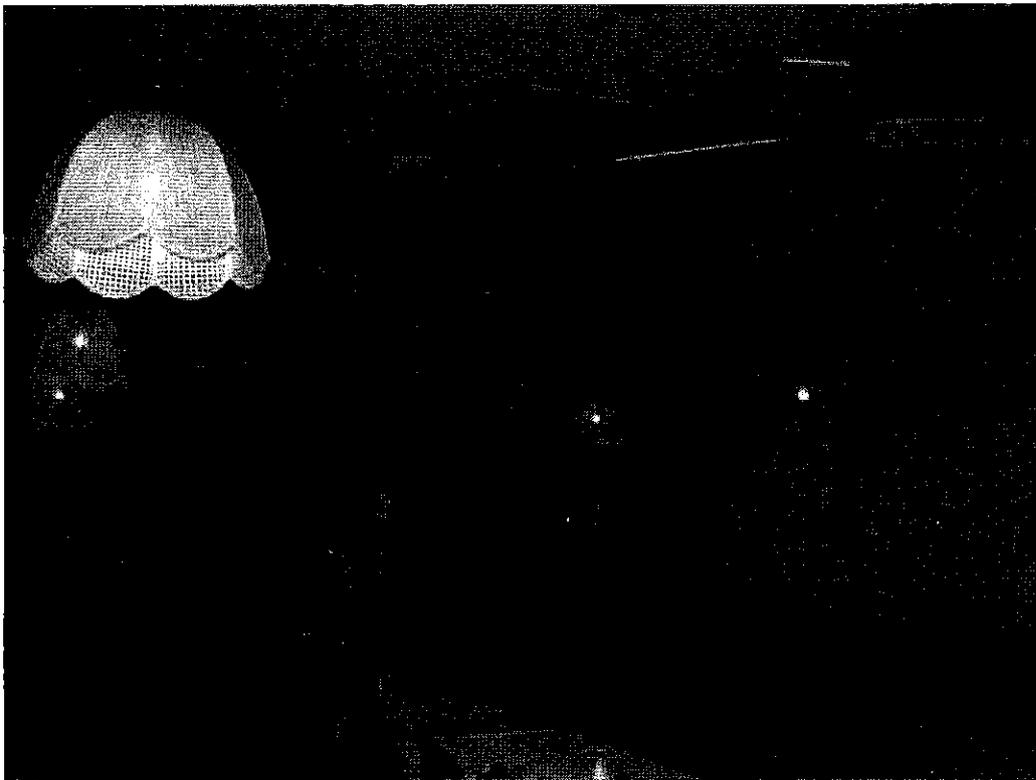


Figure 59 Dining Room. Hocking Planning & Architecture (WDW). February 2003.

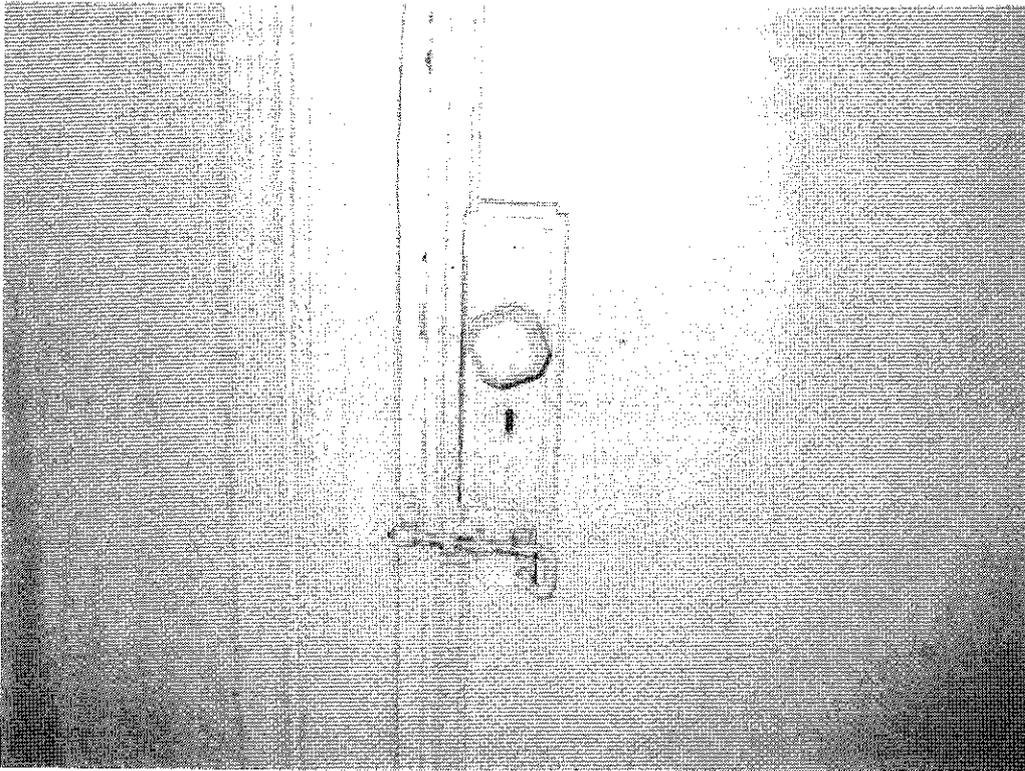


Figure 60 Early (c.1896) architrave and inter-war door hardware. Hocking Planning & Architecture (WDW). February 2003.

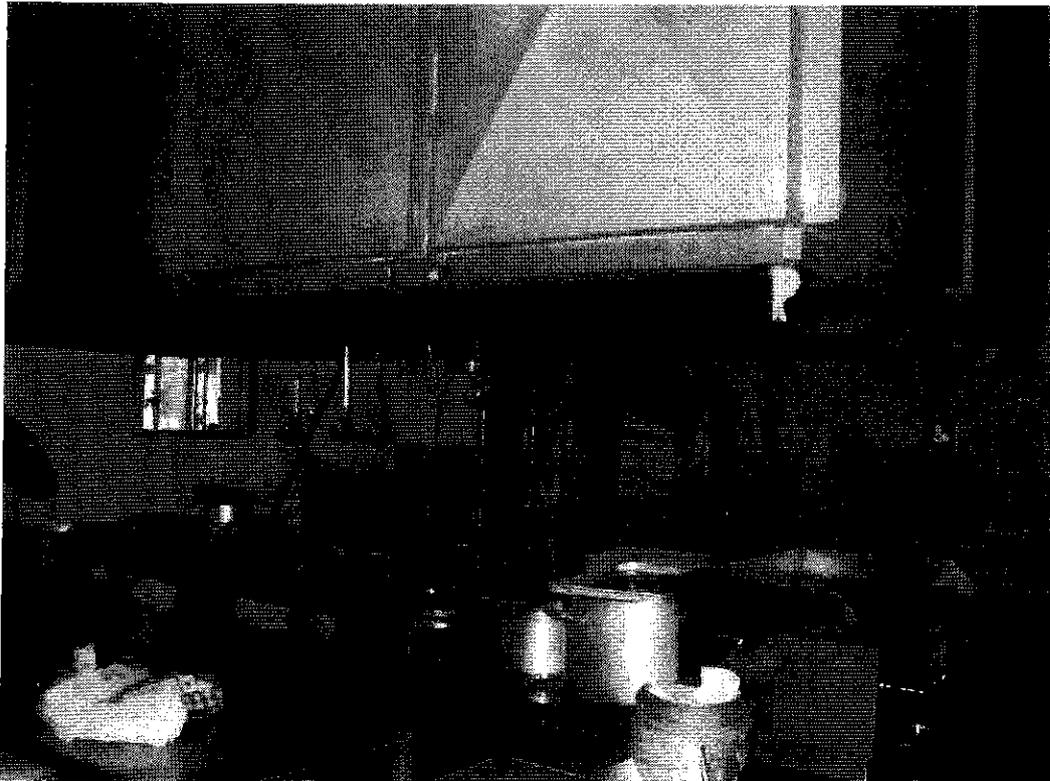


Figure 61 Interior of kitchen. Hocking Planning & Architecture (WDW). February 2003.

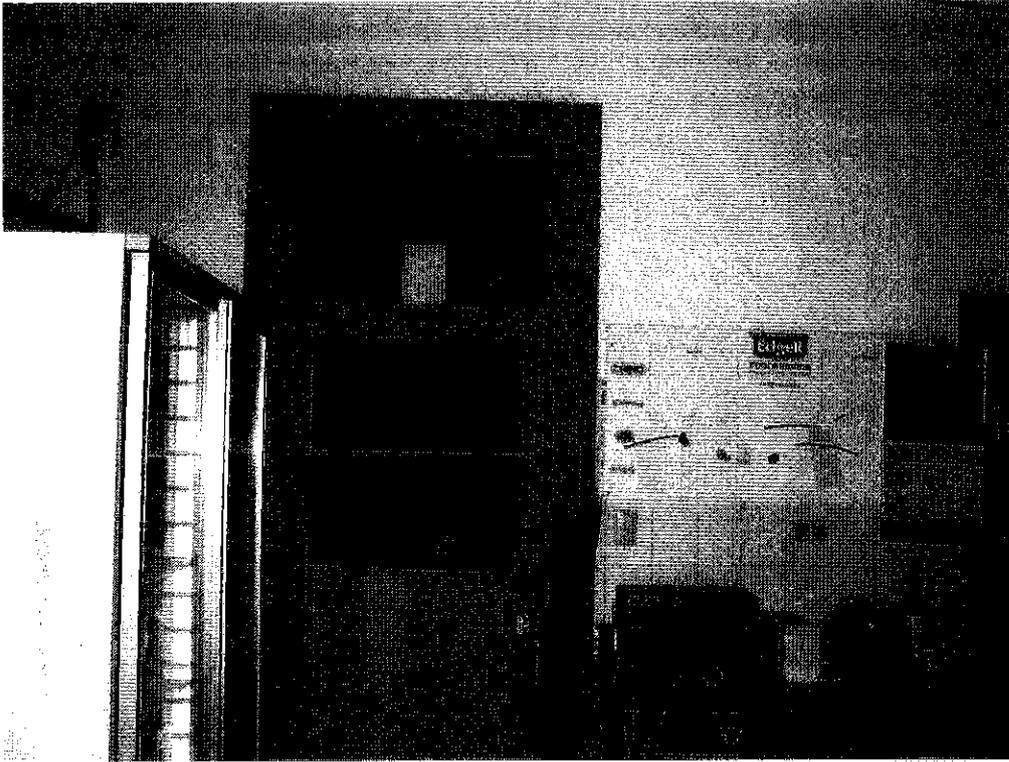


Figure 62 Original door within kitchen. Hocking Planning & Architecture (WDW). February 2003.



Figure 63 Aluminium sliding window in place of original window opening. Hocking Planning & Architecture (WDW). February 2003.

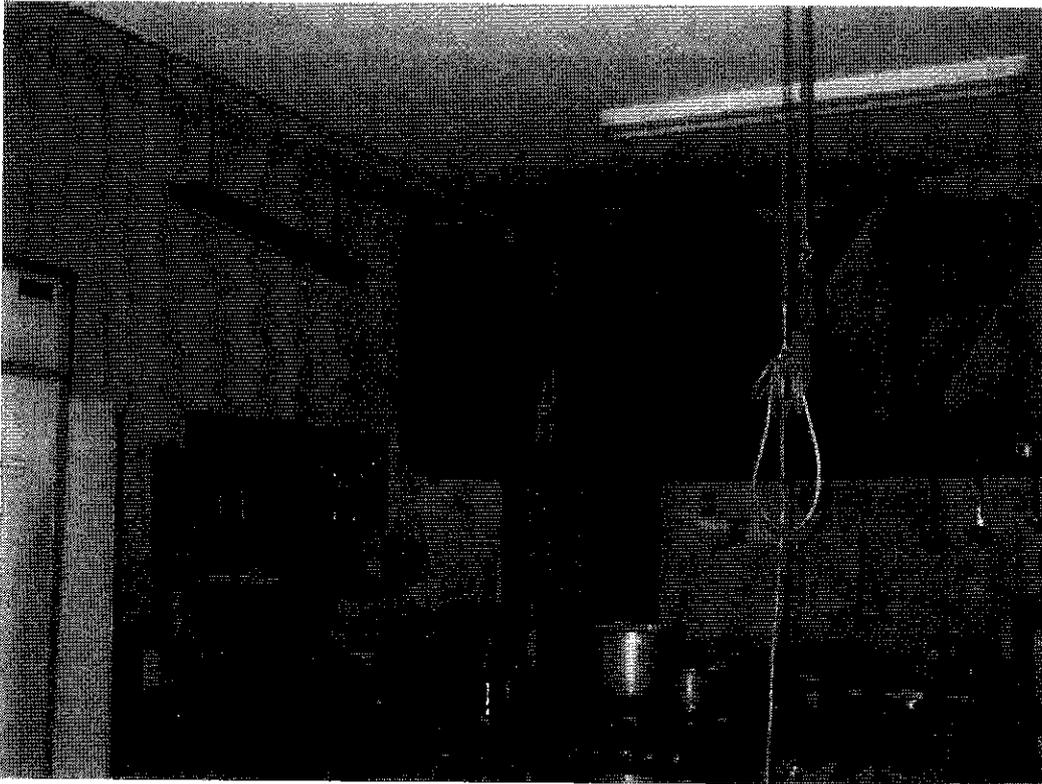


Figure 64 Interior of kitchen. Hocking Planning & Architecture (WDW). February 2003.

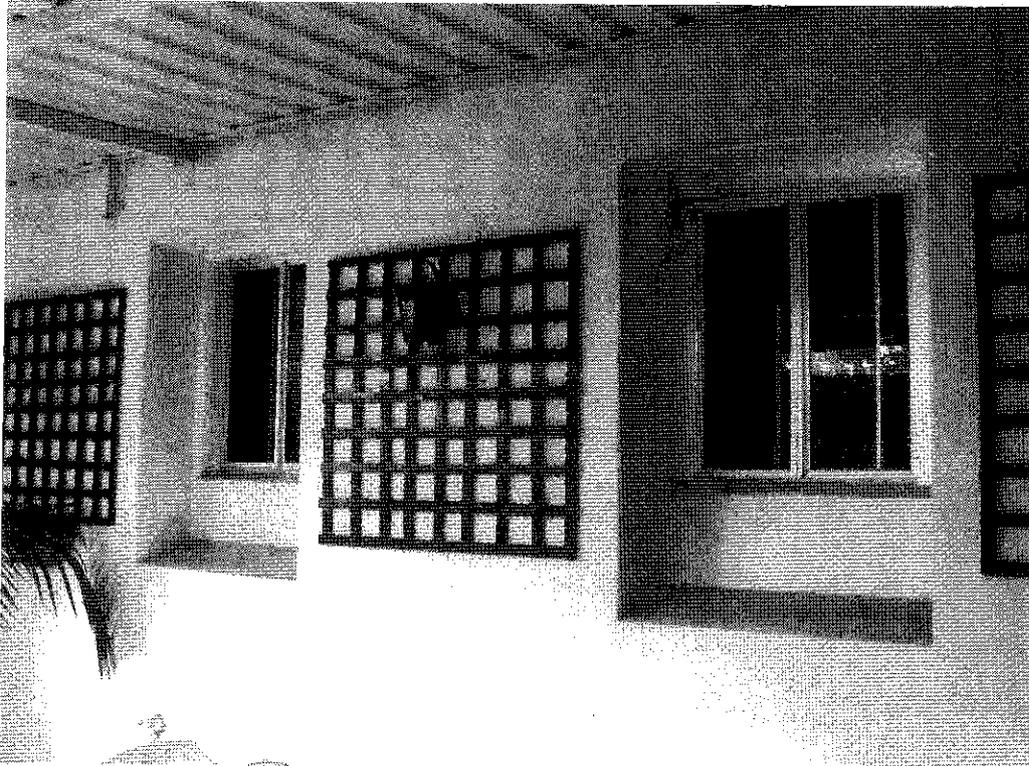


Figure 65 Recent sliding windows in original window openings in kitchen. Hocking Planning & Architecture (WDW). February 2003.

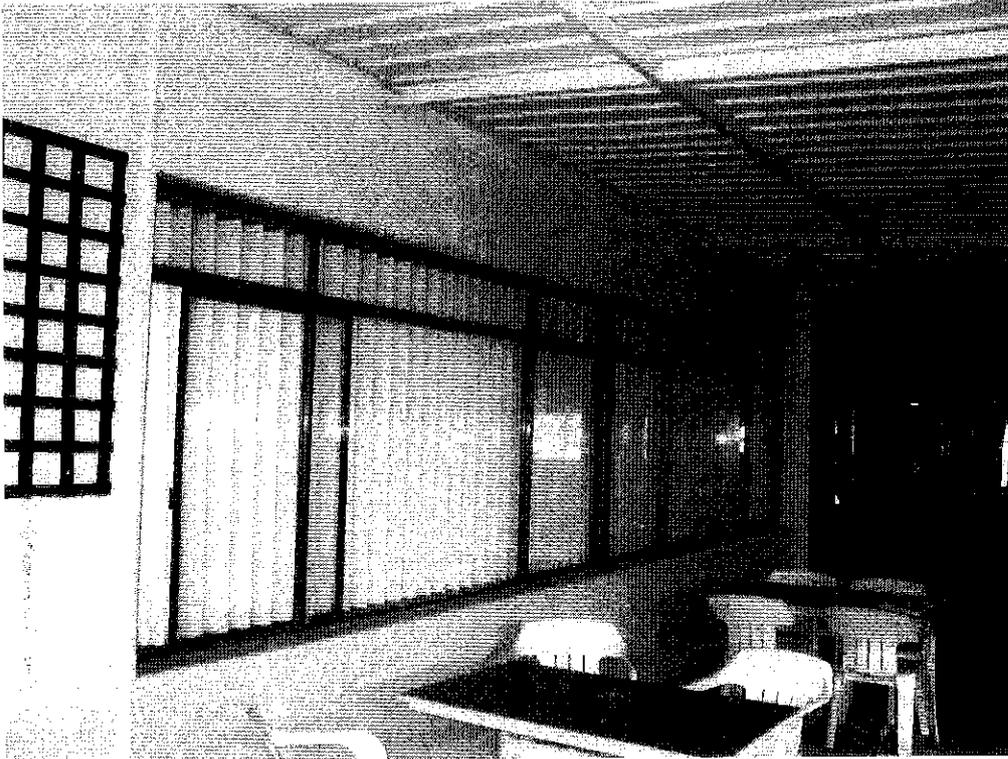


Figure 66 Recent sliding window from dining room to beer garden. Hocking Planning & Architecture (WDW). February 2003.

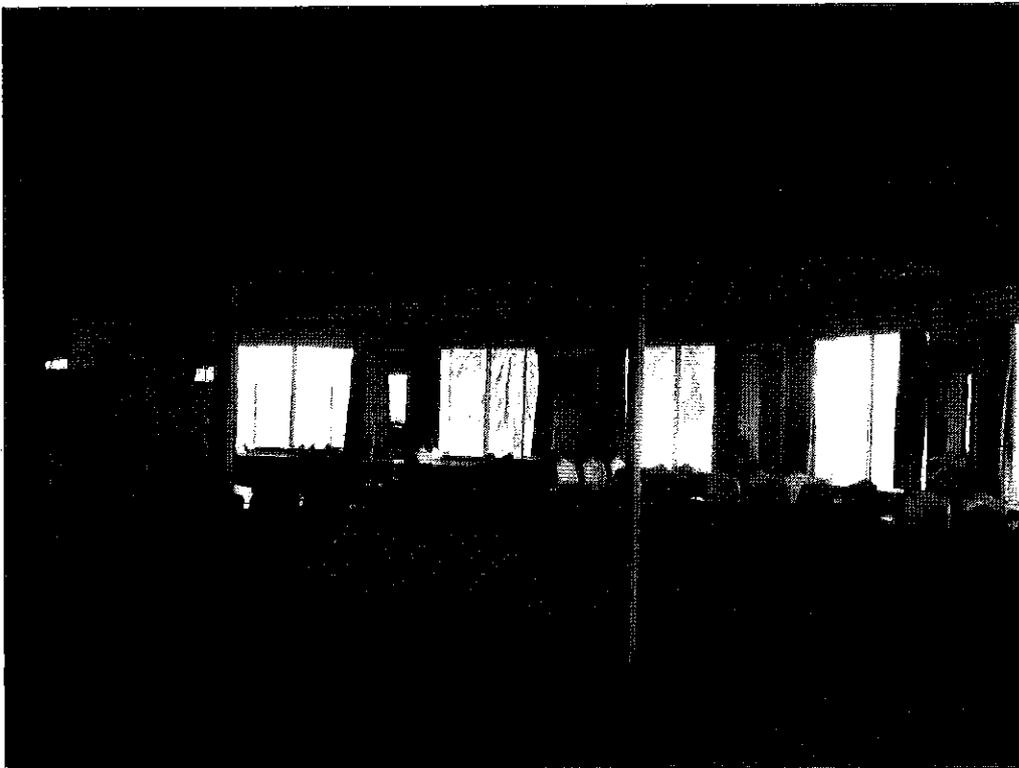


Figure 67 First floor function room – original 1937 loggia occupied area up to position of steel columns. Hocking Planning & Architecture (WDW). February 2003.



Figure 68 First floor function room. Hocking Planning & Architecture (WDW). February 2003.



Figure 69 Typical fitout of first floor function room. Hocking Planning & Architecture (WDW). February 2003.



Figure 70 Kitchen fitout in former first floor northern loggia. Hocking Planning & Architecture (WDW). February 2003.



Figure 71 1937 timber and asbestos sheet service stair – note: only top flight is original. Hocking Planning & Architecture (WDW). February 2003.



Figure 72 Replacement fanlight from function room to former north loggia. Hocking Planning & Architecture (WDW). February 2003.

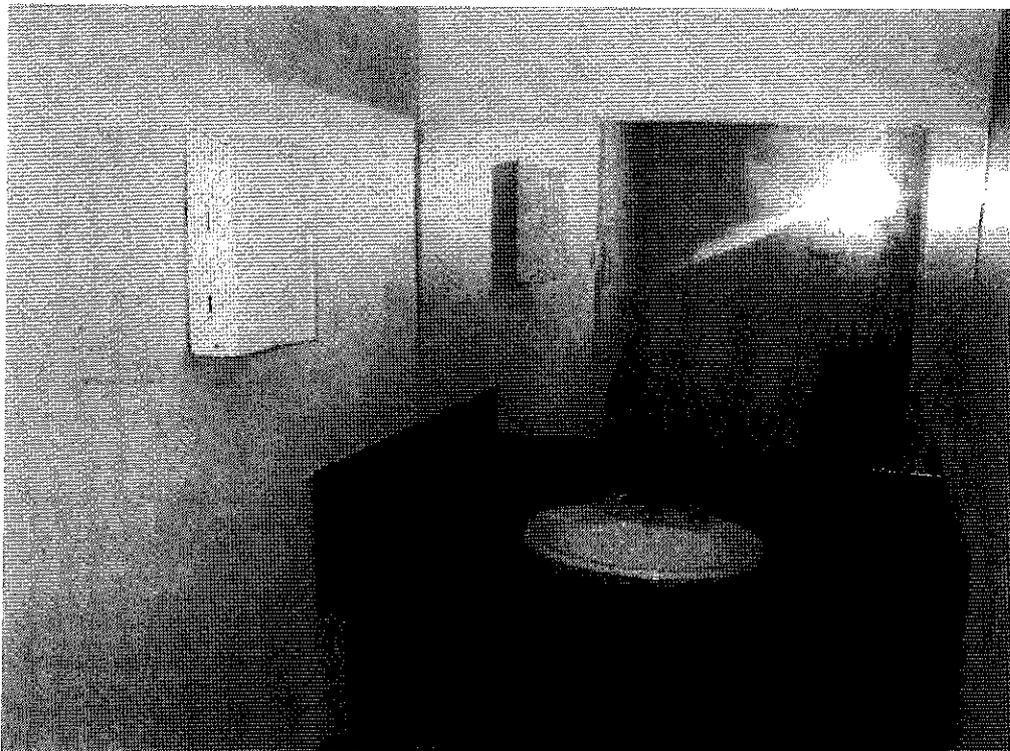


Figure 73 Men's toilet fitout. Hocking Planning & Architecture (WDW). February 2003.



Figure 74 Typical interior décor of first floor. Hocking Planning & Architecture (WDW). February 2003.



Figure 75 Women's toilet fitout first floor. Hocking Planning & Architecture (WDW). February 2003.

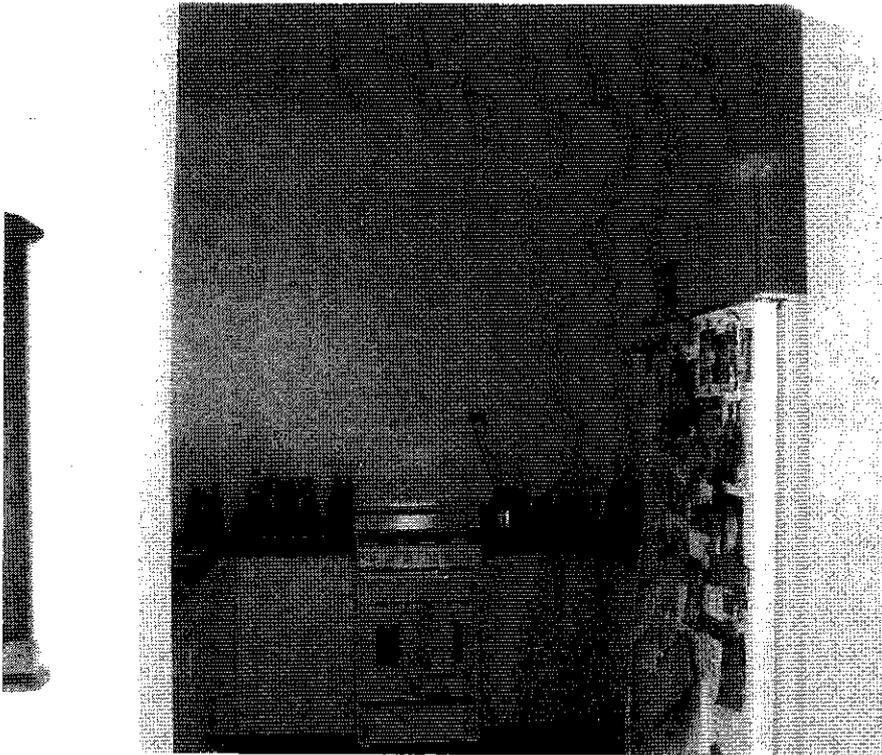


Figure 76 Kitchen of the flat. Hocking Planning & Architecture (WDW). February 2003.



Figure 77 Dining room of the flat. Hocking Planning & Architecture (WDW). February 2003.



Figure 78 Water damage caused by internal raincoats. Hocking Planning & Architecture (WDW). February 2003.

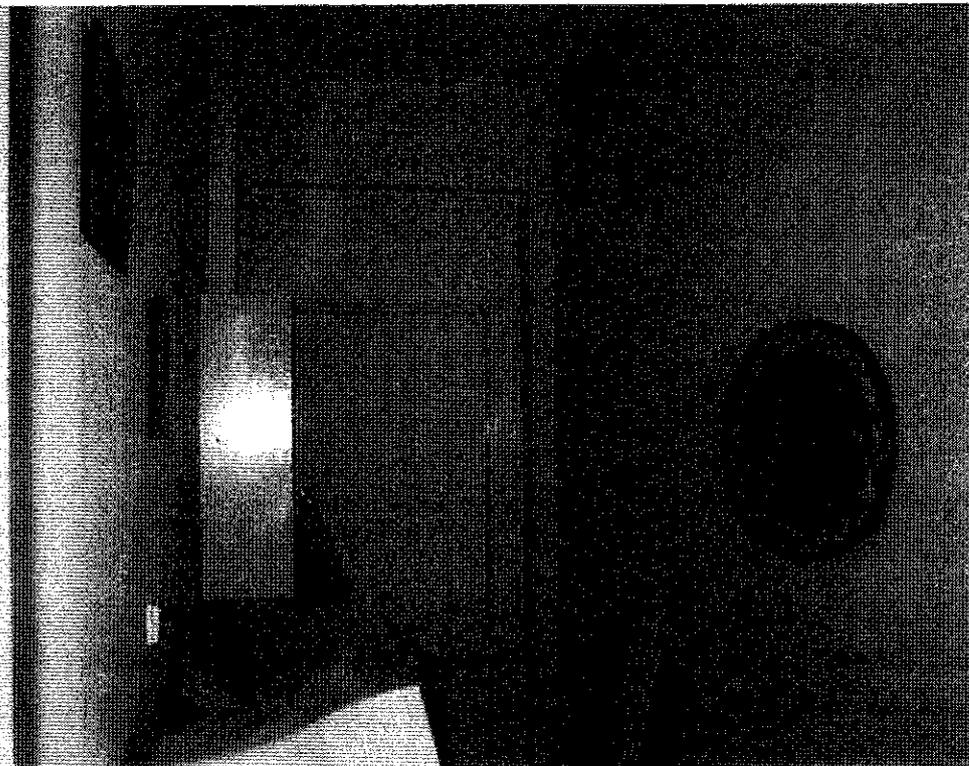


Figure 79 Hall of flat. Hocking Planning & Architecture (WDW). February 2003.

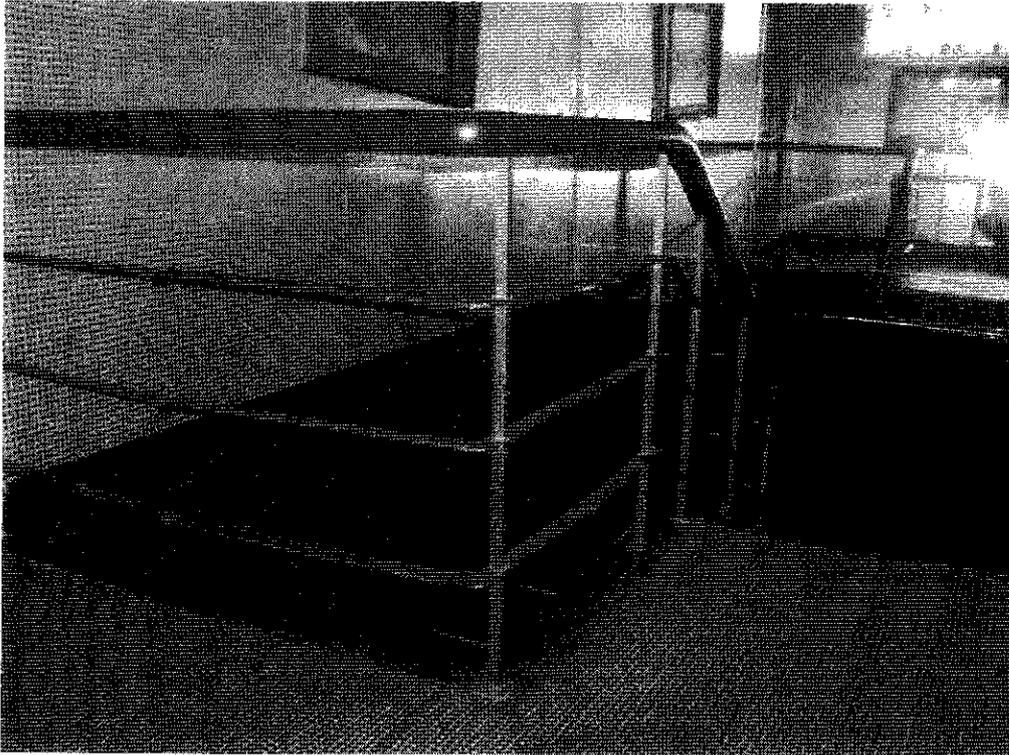


Figure 80 Upper stair landing. Hocking Planning & Architecture (WDW). February 2003.

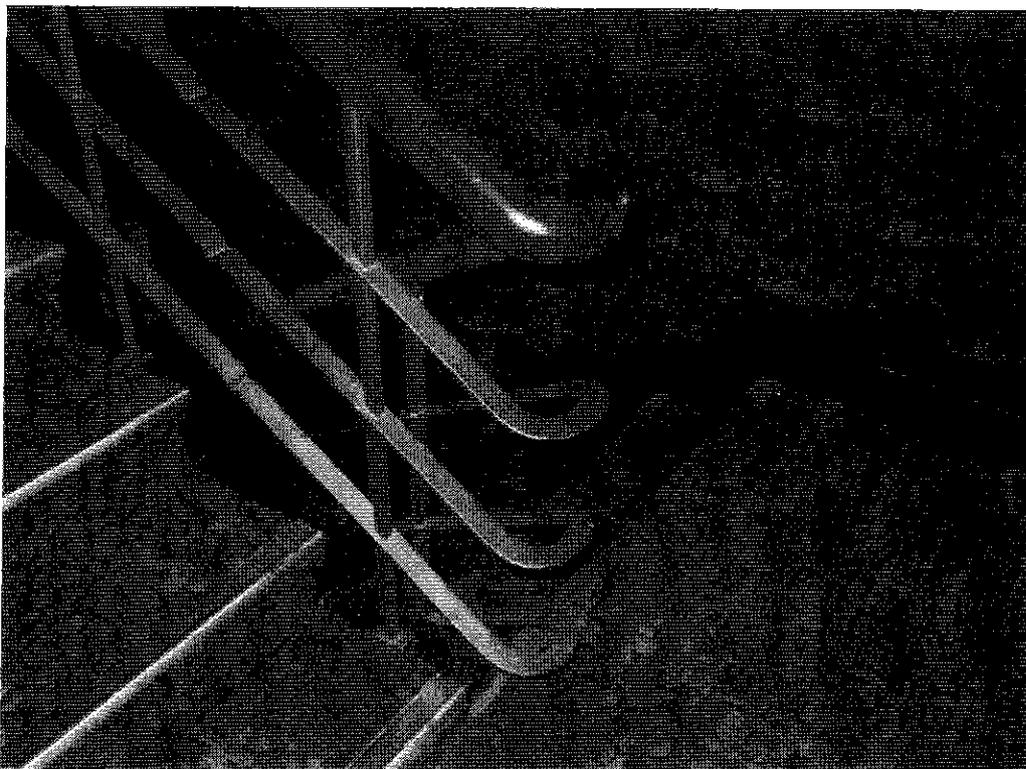


Figure 81 Mid stair landing. Hocking Planning & Architecture (WDW). February 2003.



Figure 82 One of the two original columns in the former main lounge. Hocking Planning & Architecture (WDW). February 2003.

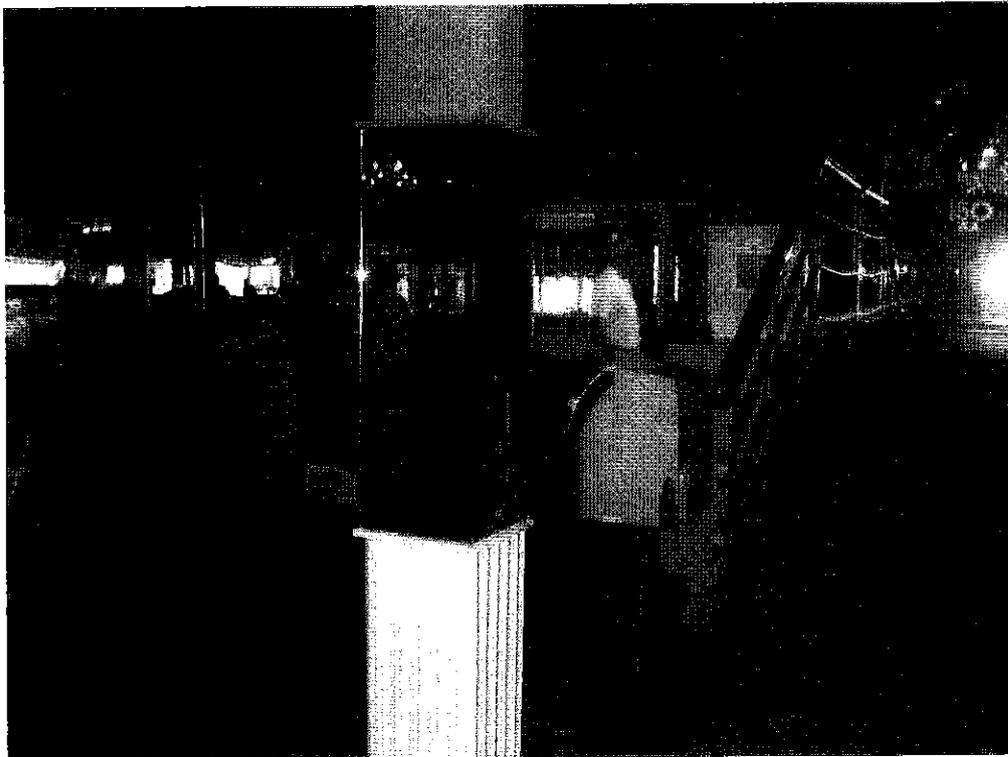


Figure 83 An original column in the main lounge with recent cladding and adjacent stair. Hocking Planning & Architecture (WDW). February 2003.

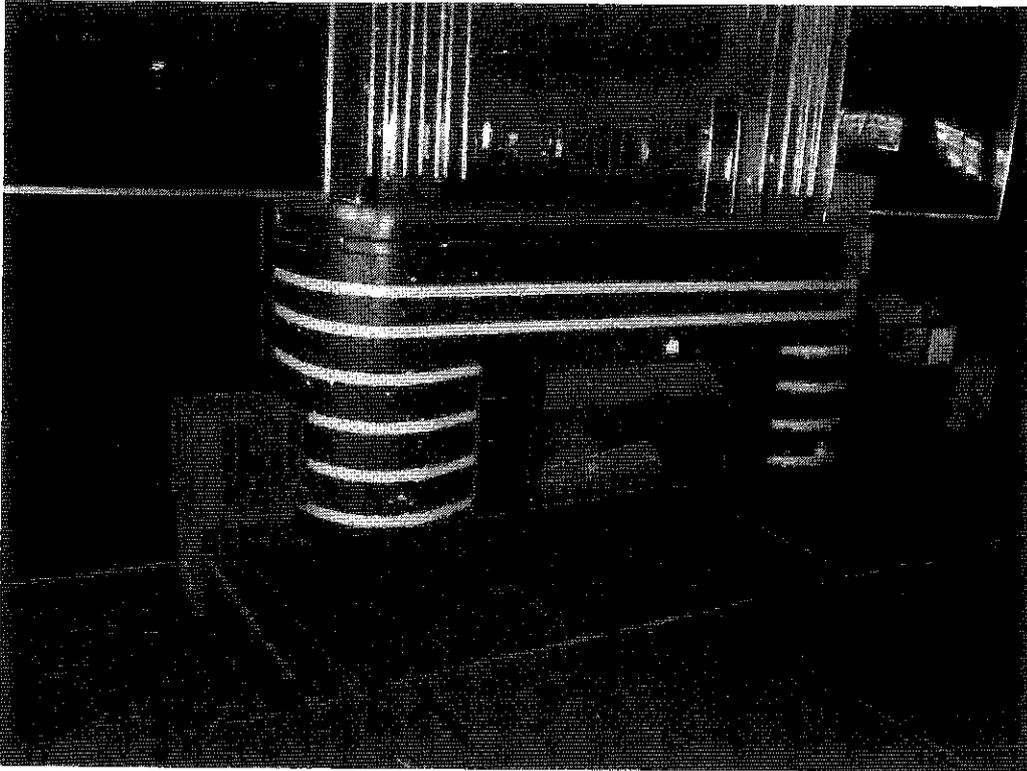


Figure 84 The original 1937 fireplace of the former Tropical Lounge. Hocking Planning & Architecture (WDW). February 2003.



Figure 85 The cocktail bar within the area previously known as the tropical lounge. Hocking Planning & Architecture (WDW). February 2003.

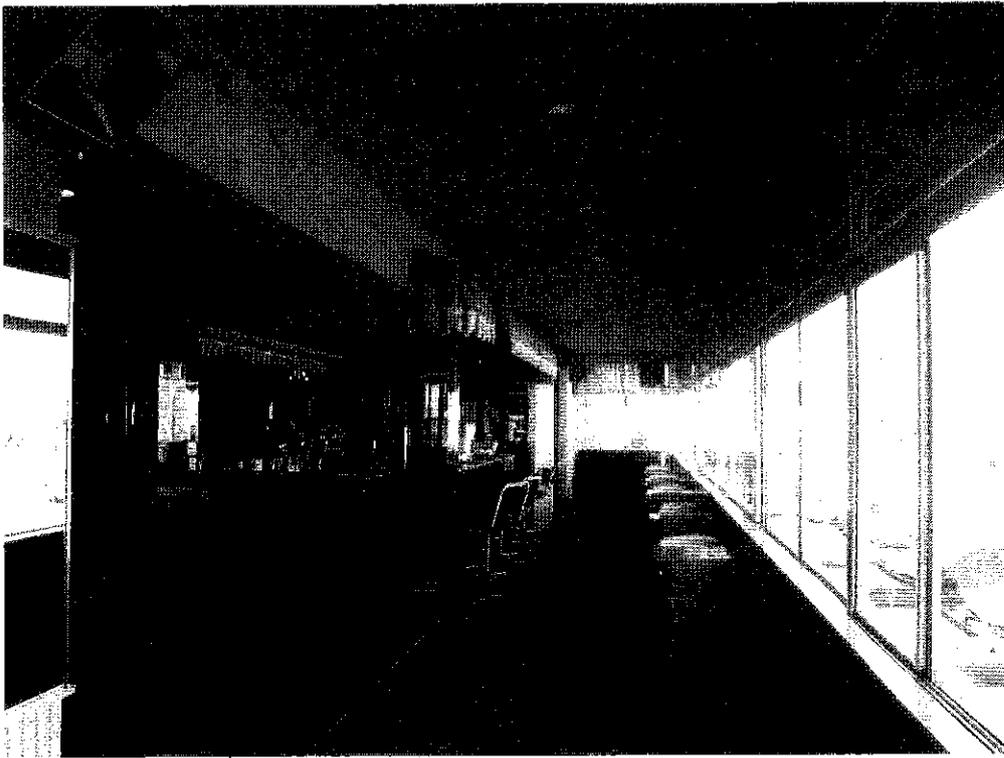


Figure 86 The skillion annexe to the cocktail lounge. Hocking Planning & Architecture (WDW). February 2003.

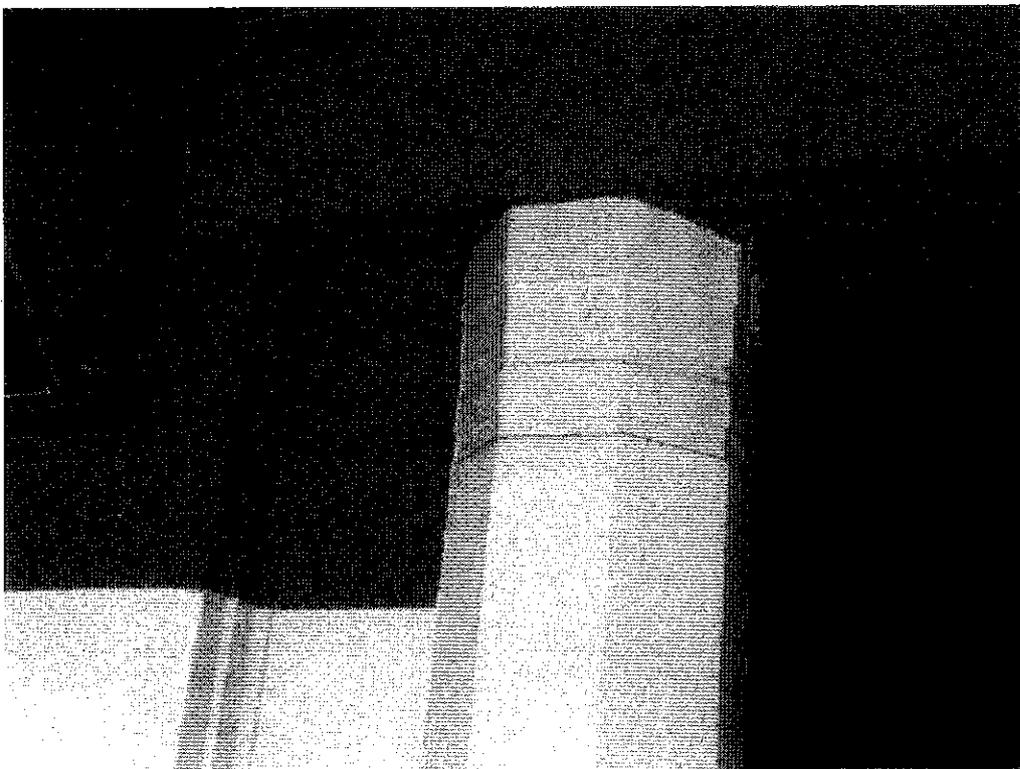


Figure 87 Original 1937 octagonal column and stepped opening of the southern façade now within the interior. Hocking Planning & Architecture (WDW). February 2003.

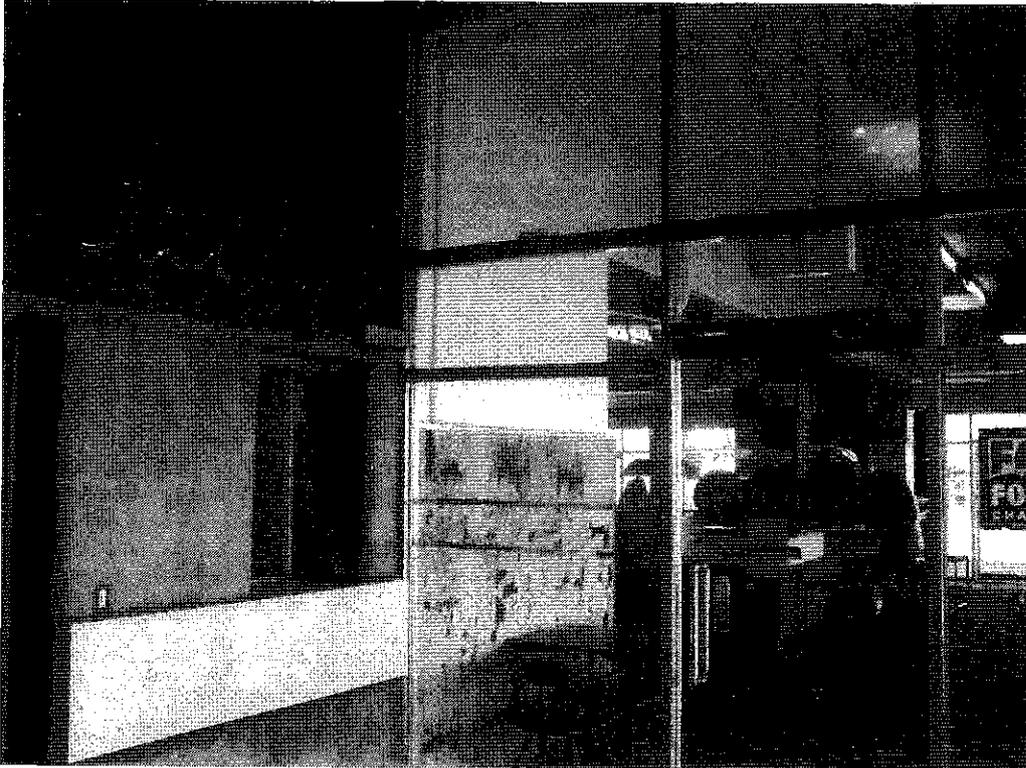


Figure 88 Entrance foyer of Raffles Hotel looking through to the public bar. Hocking Planning & Architecture (WDW). February 2003.



Figure 89 Entrance foyer of the Raffles Hotel looking through to the reception. Hocking Planning & Architecture (WDW). February 2003.

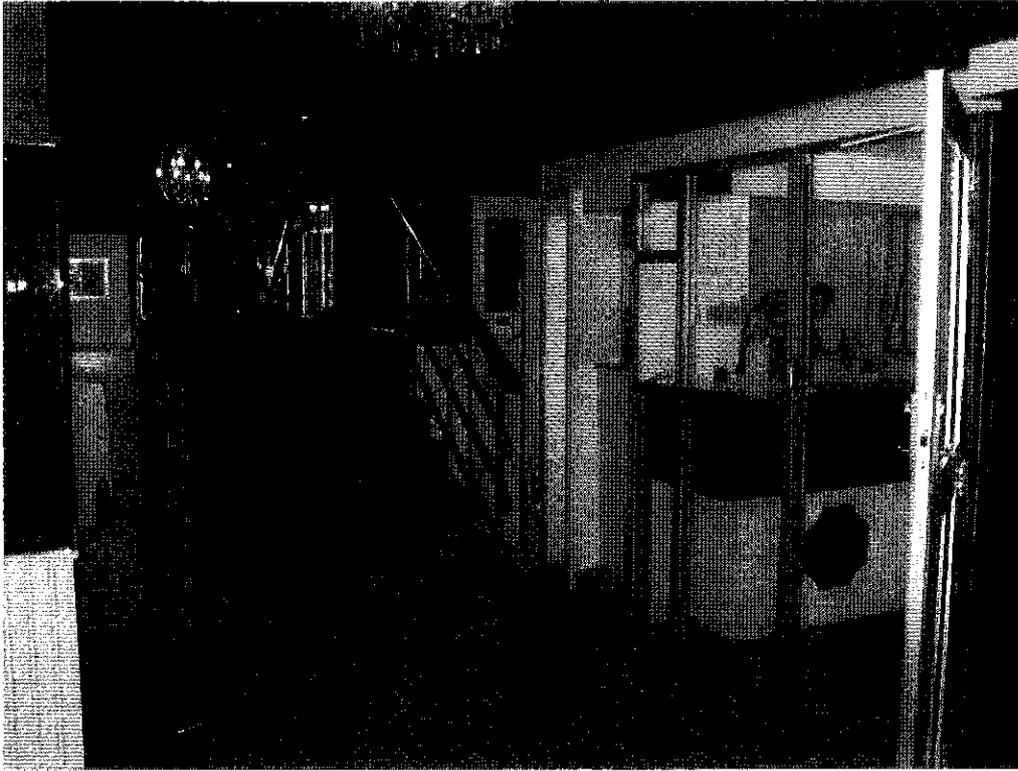


Figure 90 1937 stair of main lounge with recent reception office at right. Hocking Planning & Architecture (WDW). February 2003.



Figure 91 Interior of public bar. Hocking Planning & Architecture (WDW). February 2003.

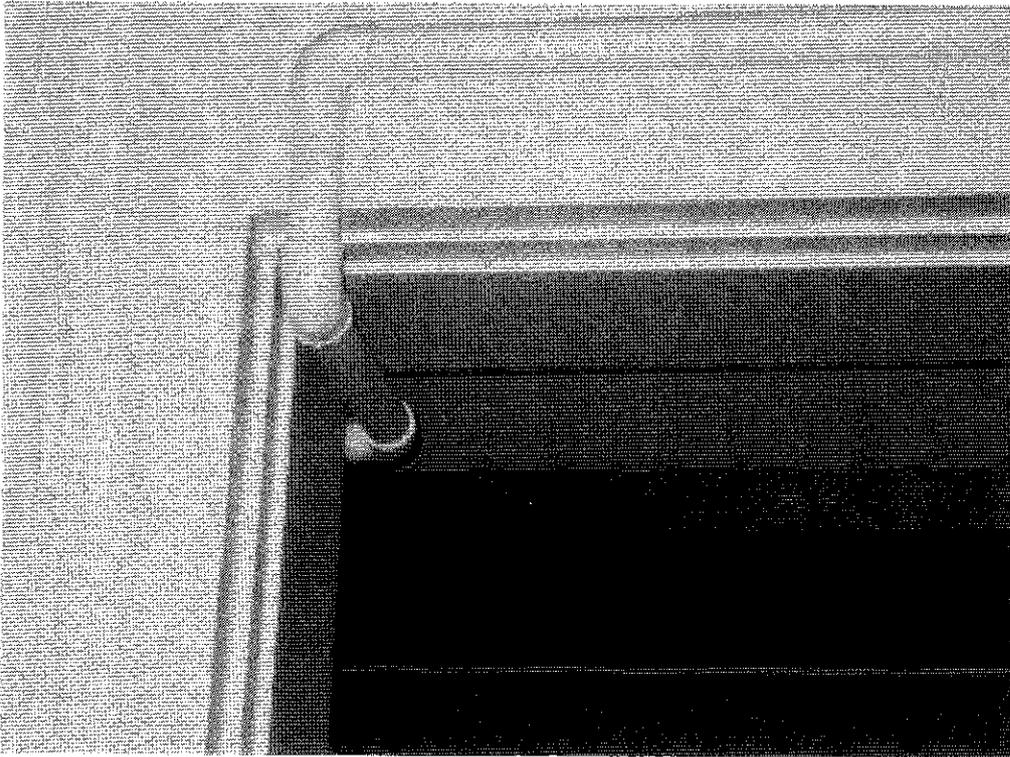


Figure 92 Stepped opening between former northeastern loggia and pub-TAB showing intrusive services. Hocking Planning & Architecture (WDW). February 2003.



Figure 93 Public bar now occupies the eastern loggia indicated by the part wall on the right. Hocking Planning & Architecture (WDW). February 2003.

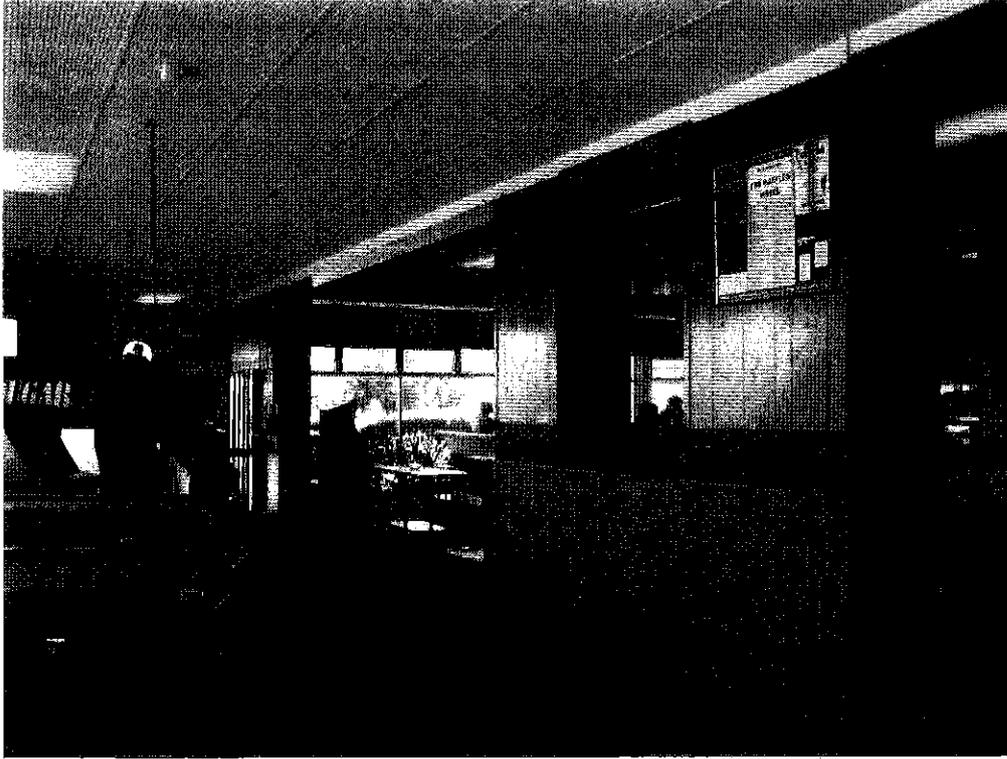


Figure 94 Original (c.1896) external wall on eastern side of Raffles Hotel now clad in materials of recent fitout. Hocking Planning & Architecture (WDW). February 2003.

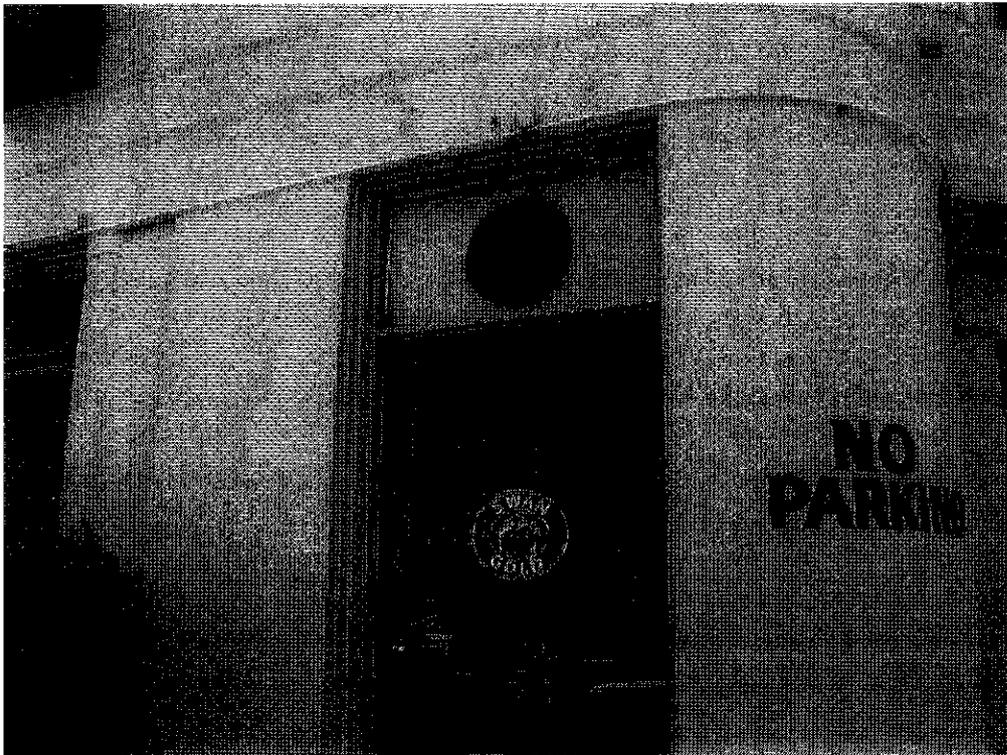


Figure 95 Stepped opening on southern façade filled with aluminium glazing. Hocking Planning & Architecture (WDW). February 2003.



Figure 96 Former steps at foot of former door opening. Hocking Planning & Architecture (WDW). February 2003.

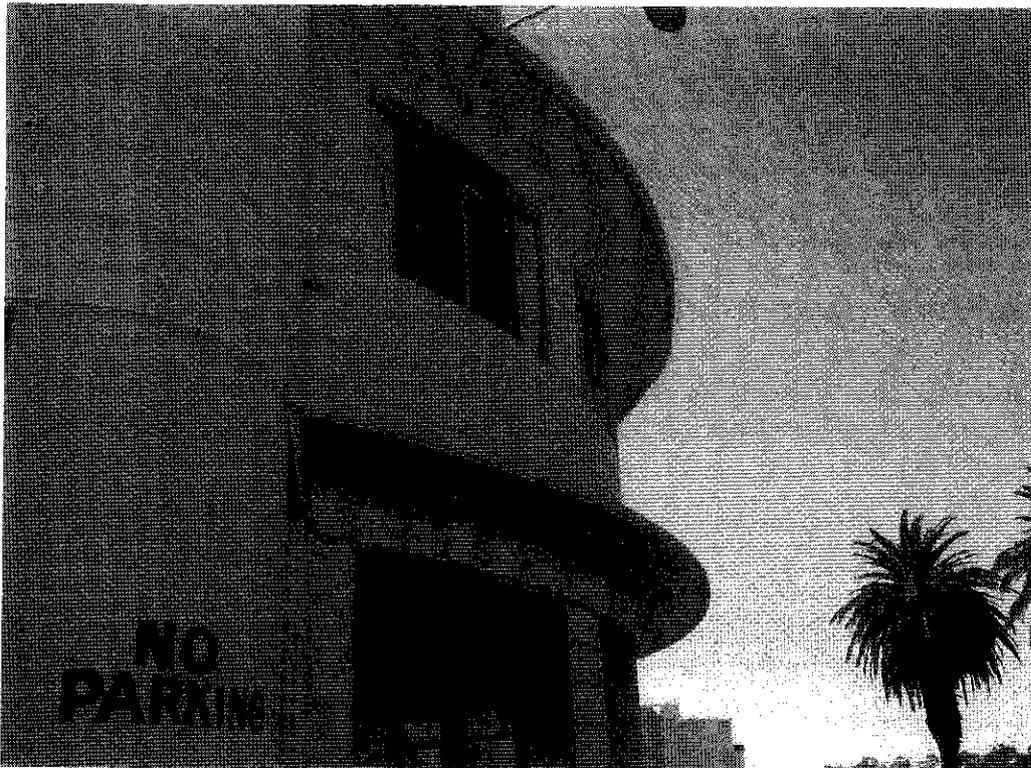


Figure 97 Horizontally banded rustication to curved facade. Hocking Planning & Architecture (WDW). February 2003.



Figure 98 Southern entrance to Raff's nightclub. Hocking Planning & Architecture (WDW). February 2003.

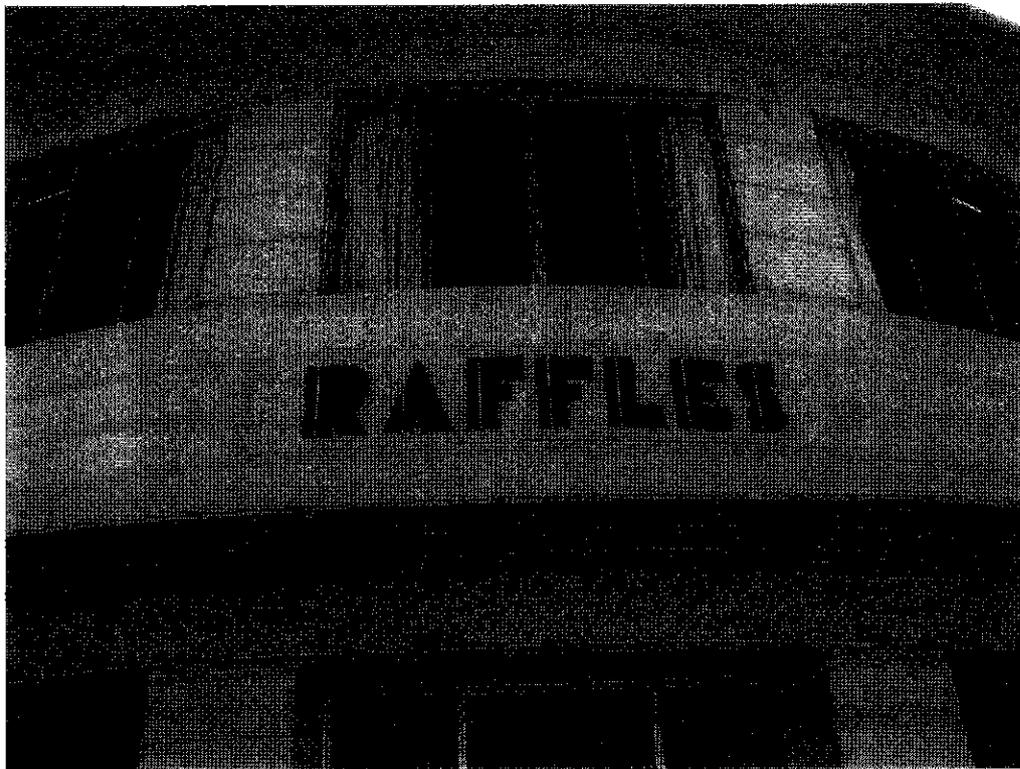


Figure 99 Bas relief signage on eastern facade. Hocking Planning & Architecture (WDW). February 2003.



Figure 100 Intrusive metal entrance canopy over southern entrance. Hocking Planning & Architecture (WDW). February 2003.

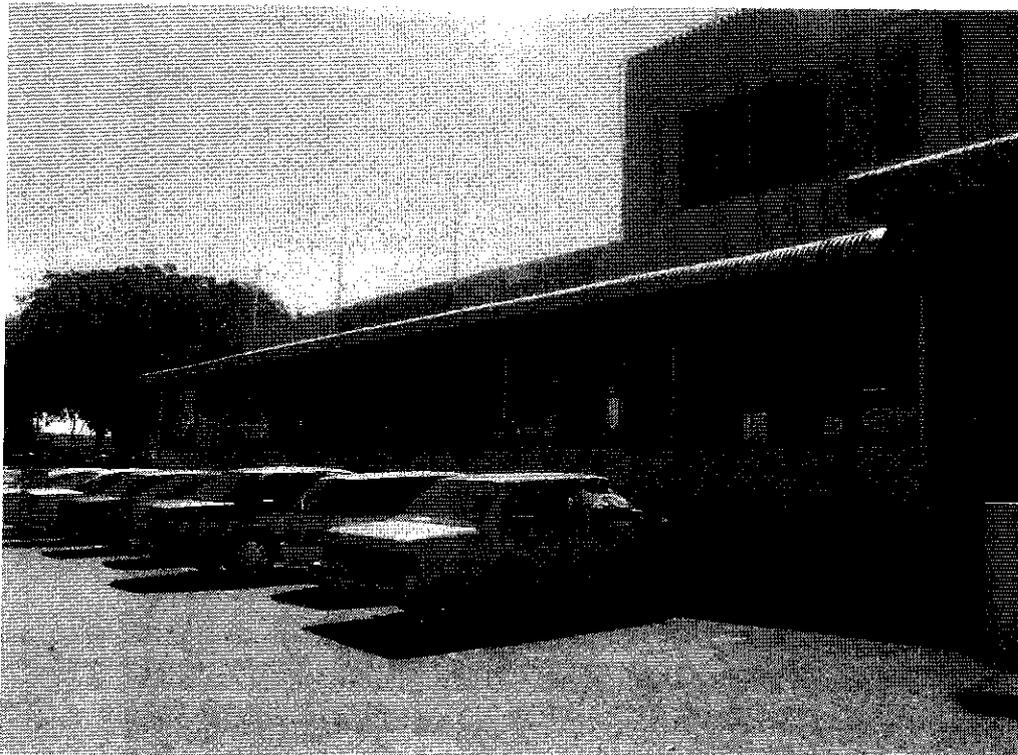


Figure 101 Intrusive skillion annexe to cocktail bar. Hocking Planning & Architecture (WDW). February 2003.

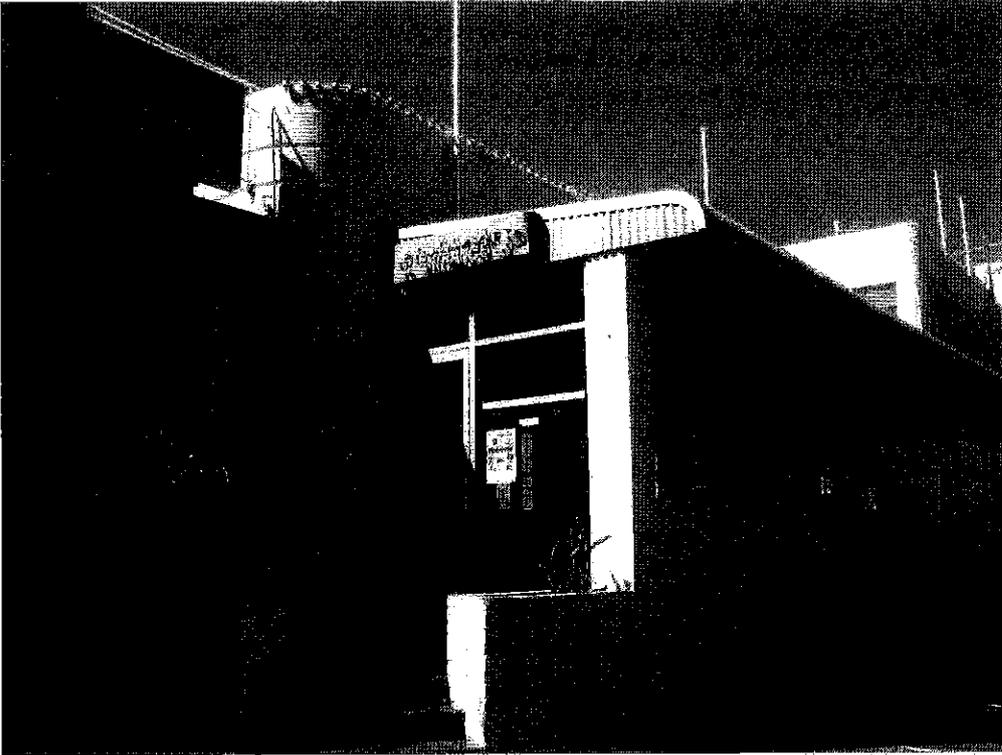


Figure 102 Intrusive skillion annexe to cocktail bar showing junction to original 1937 fabric. Hocking Planning & Architecture (WDW). February 2003.



Figure 103 Sign post in southern forecourt of Hotel. Hocking Planning & Architecture (WDW). February 2003.

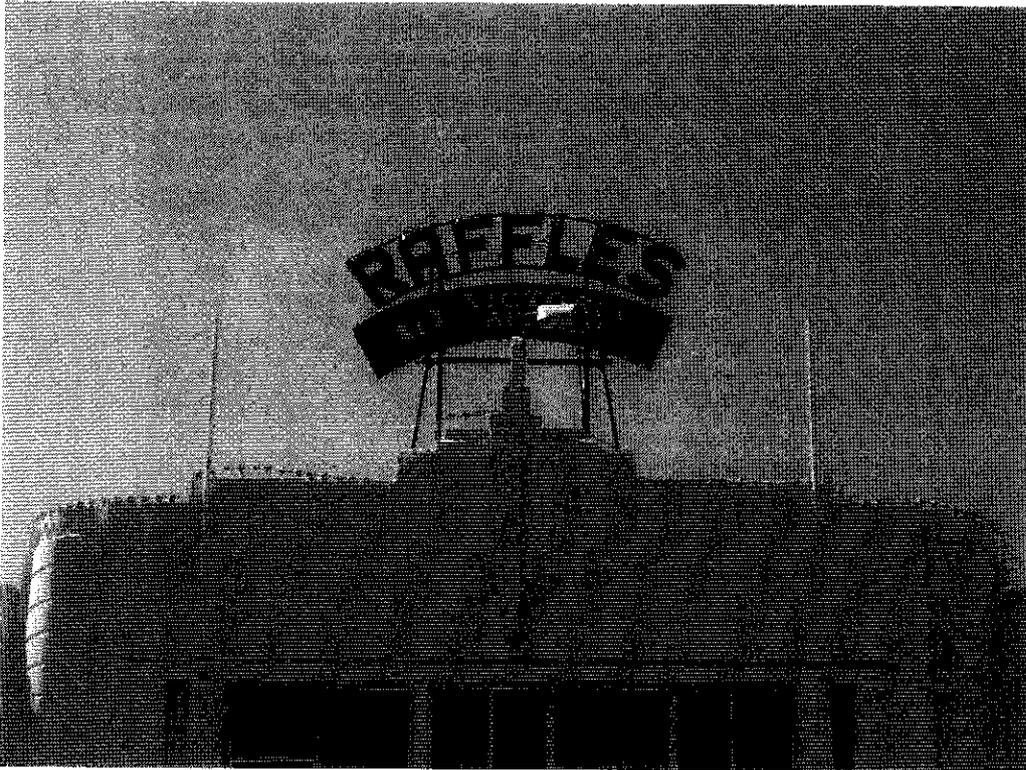


Figure 104 Vertical fin and signage to southern façade. Flagmasts are recent additions. Hocking Planning & Architecture (WDW). February 2003.



Figure 105 Main southern entrance bay. Hocking Planning & Architecture (WDW). February 2003.



Figure 106 Eastern elevation showing rooftop signage. Hocking Planning & Architecture (WDW). February 2003.

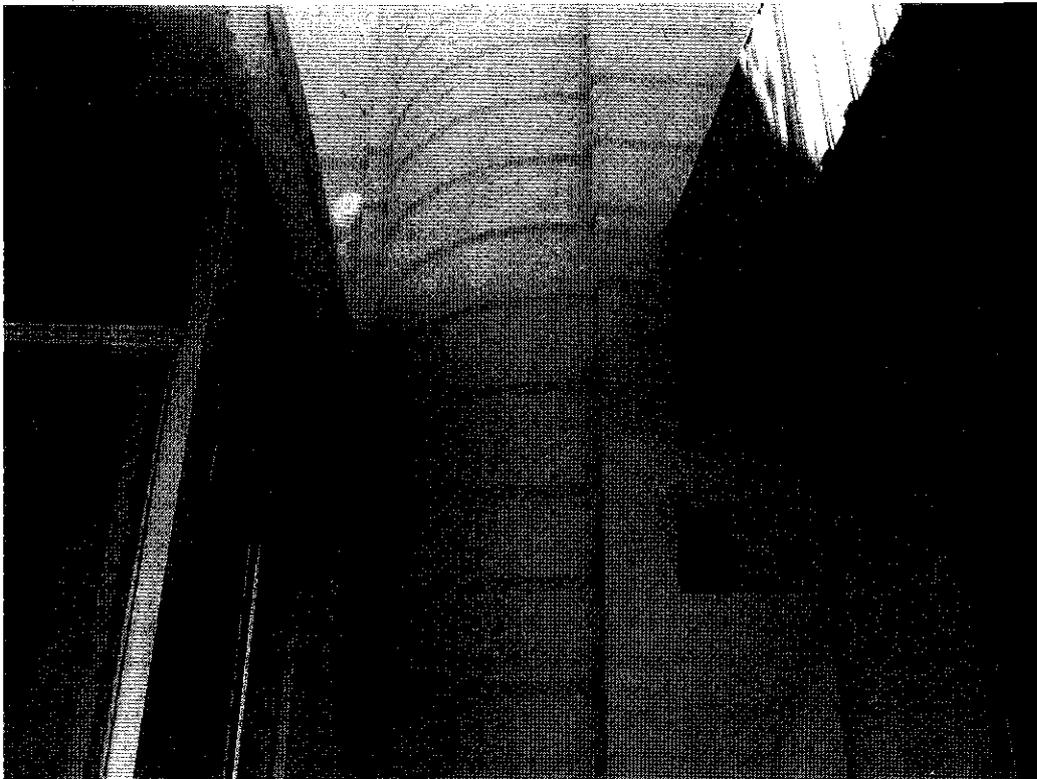


Figure 107 Junction of recent annexe and canopy with early (1937) fabric. Hocking Planning & Architecture (WDW). February 2003.



Figure 108 Mirrored corner of previous image showing modifications to corner by installation of aluminium framed glazing. Hocking Planning & Architecture (WDW). February 2003.

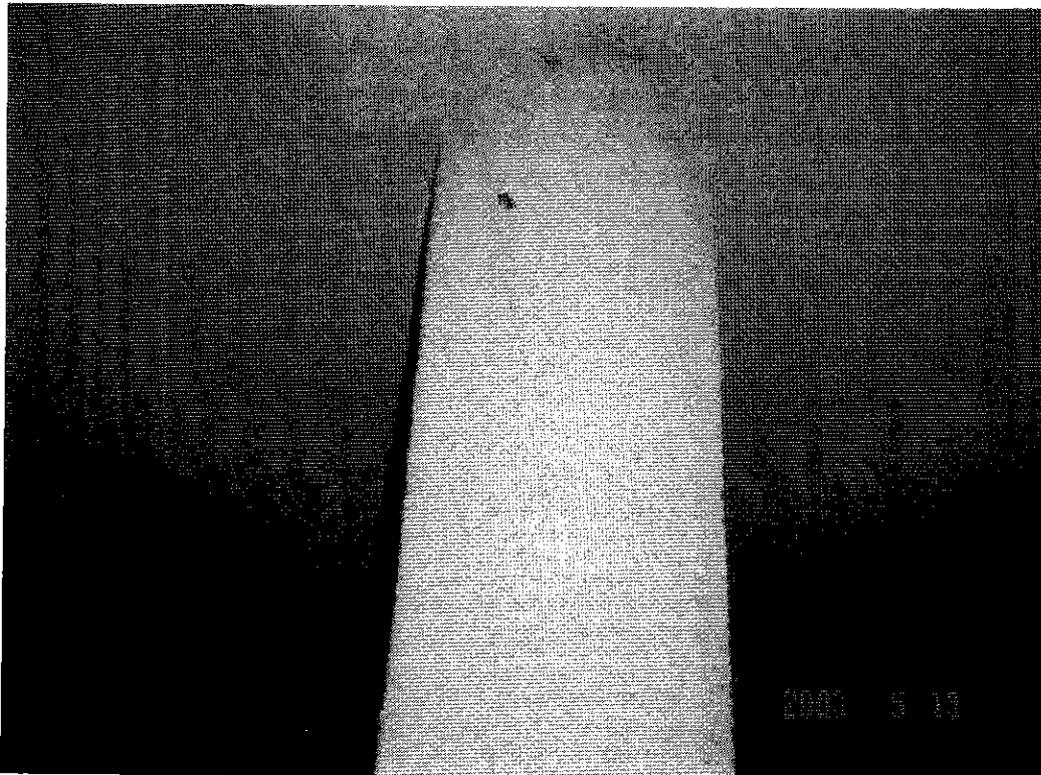


Figure 109 Invasive investigation. Before – original column of the main lounge. Mark Appleyard, Intonhouse Carpentry Services, May 2003.

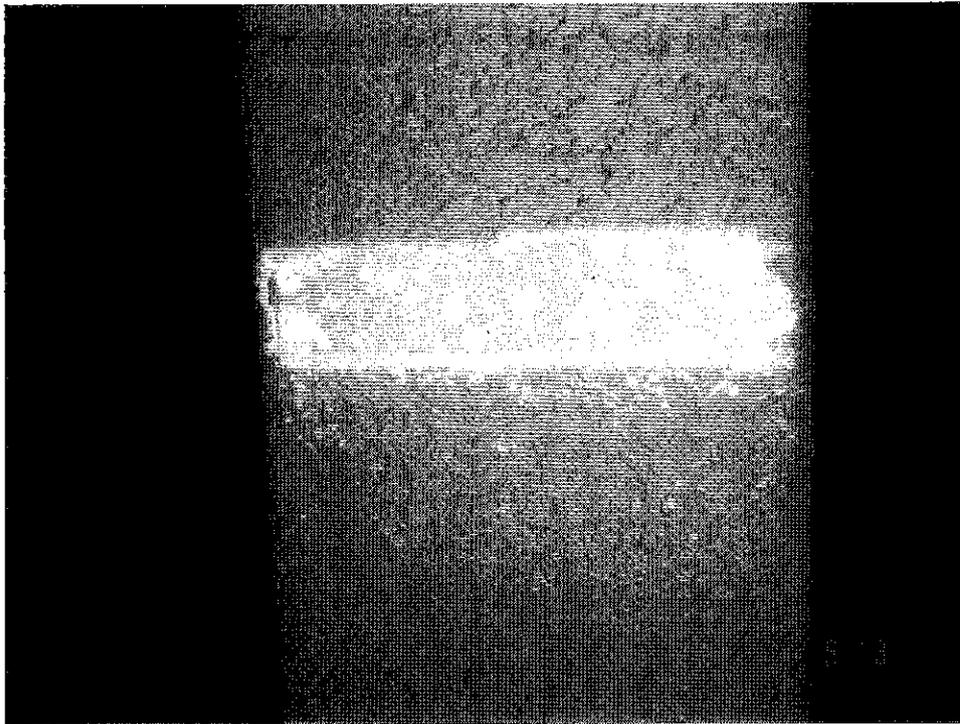


Figure 110 Invasive investigation. After - Spray on plaster finish was removed to show scabbled plaster on masonry substrate. Mark Appleyard, Intonhouse Carpentry Services, May 2003.



Figure 111 Invasive investigation. Before – recent timber panelled fitout of public bar. Mark Appleyard, Intonhouse Carpentry Services, May 2003.

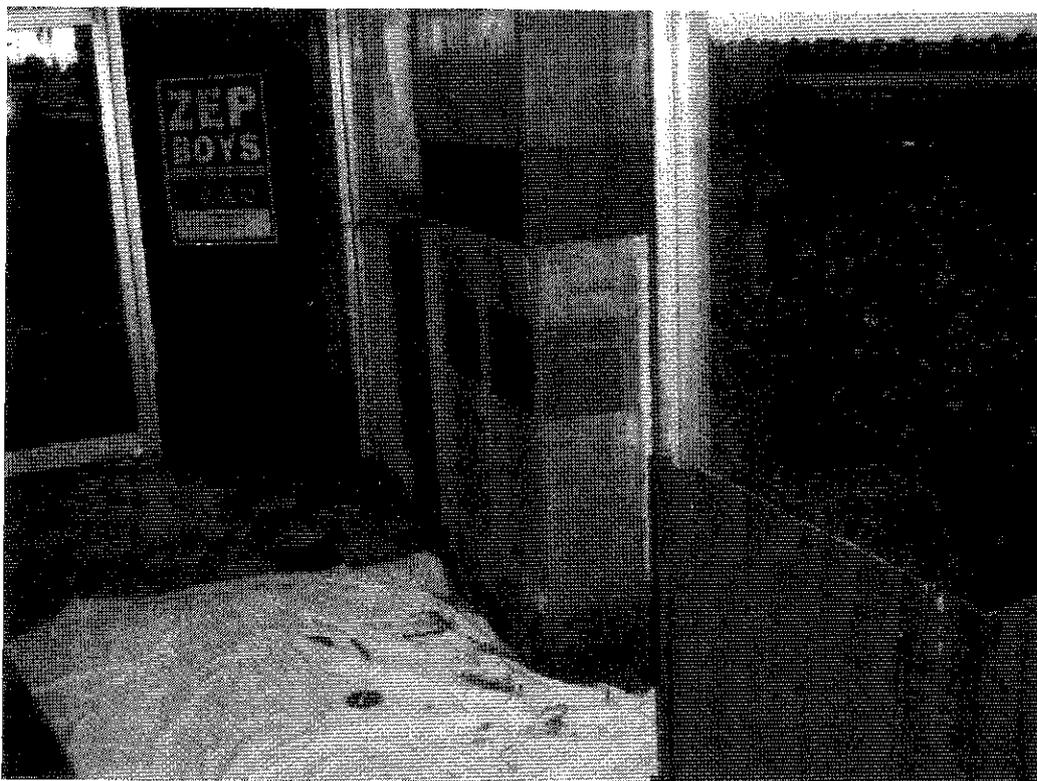


Figure 112 Invasive investigation. After – c.1950s green and buff linoleum tiled wall finish was found. Mark Appleyard, Intonhouse Carpentry Services, May 2003.



Figure 113 Invasive investigation. Before – area of original 1896 external wall obscured underneath recent timber panelling. Mark Appleyard, Intonhouse Carpentry Services, May 2003.



Figure 114 Invasive investigation. After – showing pale yellow/ochre paint finish with grey painted banding and section of wall removed in area of former window. Mark Appleyard, Intonhouse Carpentry Services, May 2003.



Figure 115 Invasive investigation. After – interior view of 1896 section of walling showing continuation of c. 1950s green and buff tiled scheme to interior.. Mark Appleyard, Intonhouse Carpentry Services, May 2003.

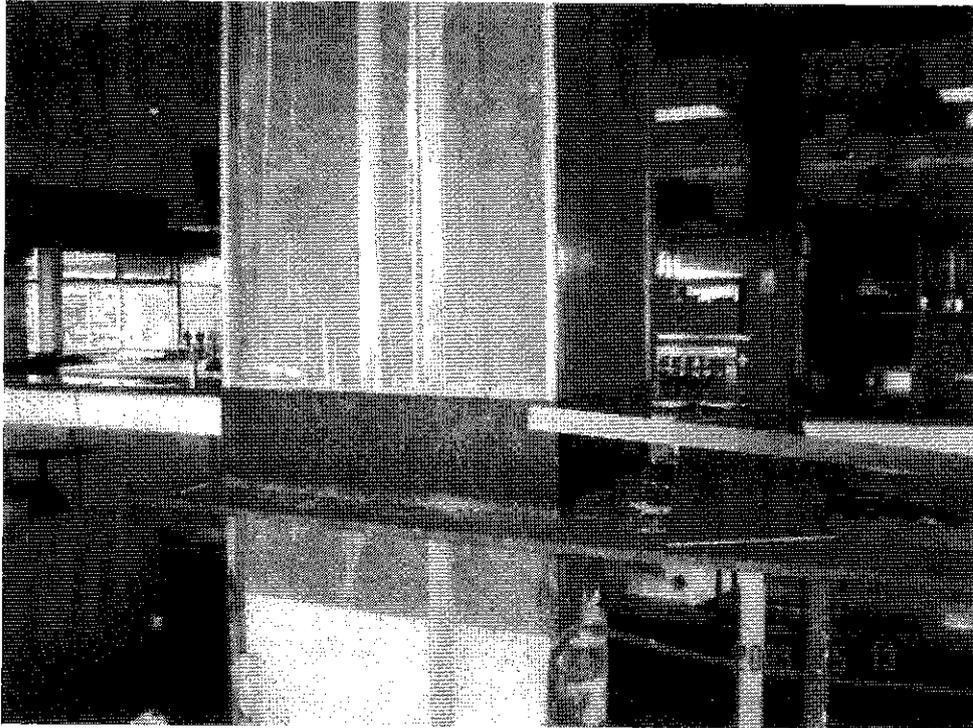


Figure 116 Invasive investigation. After – 1896 wall showing most recent underlying wall finish of pale yellow and grey paint finish. Mark Appleyard, Intonhouse Carpentry Services, May 2003.



Figure 117 Invasive investigation. After – section of 1896 wall paired down to show brick masonry with stucco banding overpainted with pale ochre. Mark Appleyard, Intonhouse Carpentry Services, May 2003.



Figure 118 Invasive investigation. Above suspended ceiling in front bar, this stepped cornice was found. Mark Appleyard, Intonhouse Carpentry Services, May 2003.



Figure 119 Invasive investigation. Above suspended ceiling in lounge (former Tropical Lounge), this fluted and stepped cornice was found. Mark Appleyard, Intonhouse Carpentry Services, May 2003.

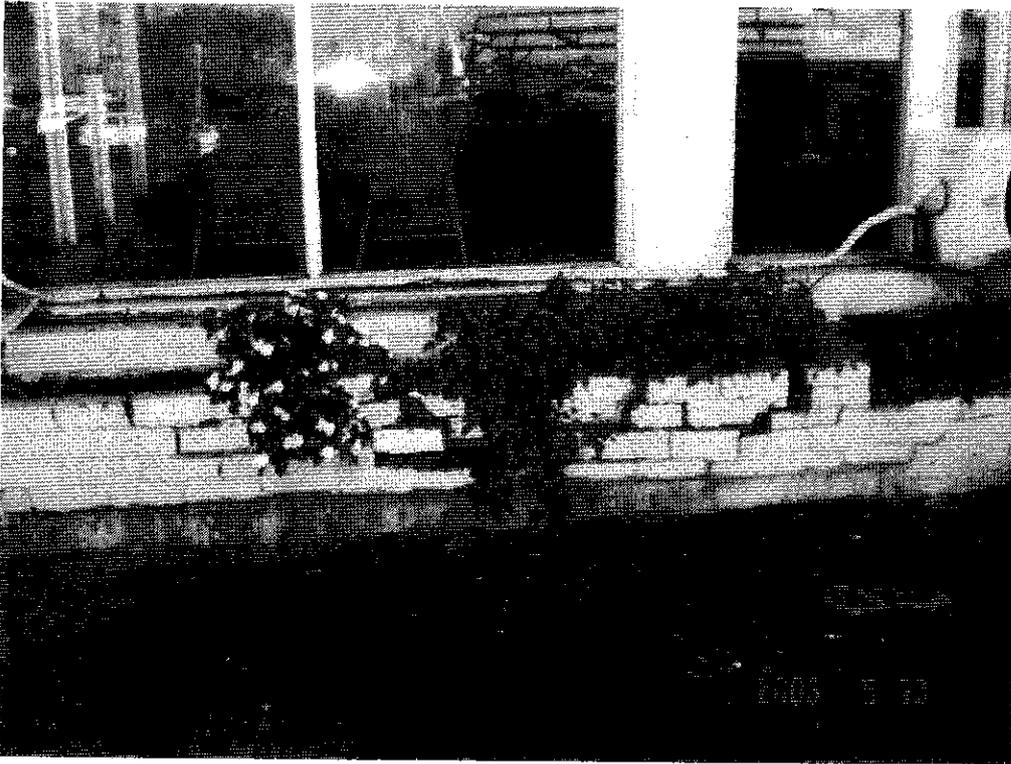


Figure 120 Invasive investigation. Before – car damaged recent planter in location of former steps. Mark Appleyard, Intonhouse Carpentry Services, May 2003.



Figure 121 Invasive investigation. After – former steps in location of main southern entrance. Mark Appleyard, Intonhouse Carpentry Services, May 2003.

4.0 ANALYSIS OF EVIDENCE

4.1 Sequence of Development

- 1896 Building of the Canning Bridge Hotel.
- 1934 Building of the Applecross District Hall on adjacent site.
- 1937 Extensive remodelling of the Canning Bridge Hotel, renamed the *Raffles Hotel*.
- 1959-60 Motel type extension made on the *Raffles Hotel* site.
- c.1960s A large covered structure constructed to the east of the *Raffles Hotel*.
- 1960s/70s Drive-in Liquor Store constructed.
- 1980s Extensions to structure (later known as Raffles Nightclub).

Note on Interior Treatments

The documentary evidence provided by photographs and the physical evidence confirms the sequence of interior treatments to the core of the hotel. There is minor remnant physical evidence of the 1896 scheme in architraves and skirtings on the ground floor. This scheme was largely overlaid in 1937 with interior elements characteristic of the Inter-War Art Deco and Functionalist styles including a parallel line motif. Remnants of the 1937 scheme include splayed architraves and stepped and fluted ceiling cornices above existing ceilings. The two most prominent interior features of this scheme include the fireplace and the steel and maple staircase. In the 1950s or 1960s the bars were opened up and extended into the enclosed loggias. At this time, a new interior treatment including suspended ceilings and linoleum tiling was overlaid on the fabric. In the 1970s or 1980s interiors were progressively opened up and redecorated to effect the current interior scheme.

4.2 Comparative Analysis

During the mid-late 1930s the architect of the *Raffles Hotel*, William Bennett, was responsible for the renovation of a number of existing late nineteenth and early twentieth century hotels and the building of new hotels in the modern styles fashionable at the time. In the Perth region, these included the remodelling of the interior of the *Savoy Hotel* in 1936 (since remodeled), the *Esplanade Hotel* (demolished), and the *Bohemia Hotel* (significantly remodeled) in Murray Street that was given a restrained Art Deco street facade. The *Ocean Beach Hotel*, *Cottesloe* (now completely remodelled) had been renovated and altered by Bennett in 1936, while the *Scarborough Beach Hotel*

(demolished) was newly built in 1938.¹⁰³ Amongst his country hotels, the Sawyers Valley Hotel, rebuilt in 1937, has a distinctive and unusual Art Deco facade featuring an ornate cluster of centrally placed vertical elements rising up and through its pitched roof. Another building which shows stylistic similarities with *Raffles Hotel* is Motor House (1936-37) which still stands on an 'island' in Milligan Street, Perth. Bennett worked on this building in association with the firm Powell, Cameron and Chisholm.

Bennett was not the only architect designing hotels in Western Australia at this time. Architects Marshall Clifton and Reginald Summerhayes, working in association, designed the Swanbourne Hotel (now demolished), The Civic in Inglewood, and the Highway Hotel in Claremont (now converted into a medical centre), all completed in 1940. The three buildings reveal particular variations within the Inter-War Functionalist style. This can be attributed to the design preferences of the architects, and the fact they were designed at the very end of the decade. The design of these hotels, with their more pronounced emphasis on the massing of horizontal and vertical forms, reflect the increasing influence of European examples such as the work of French architect Le Corbusier, the German Bauhaus and Dutch cubism. The work of Dutch architect, Willem Dudok, and in particular his City Hall (1928-32) in Hilversum, Holland, is often cited as a influence on inter-war building in Australia and overseas. Locally, his influence has been referred to in the design of the former Highway Hotel.¹⁰⁴ However, all three hotels were built along essentially traditional lines, with pitched tiled roofs partially hidden behind a modern parapet wall. A flat roof was one of the hallmarks of modernity. Other surviving examples of 1930s hotels in Perth are stylistically different. For example the Captain Stirling Hotel (Inter-War Mediterranean) in Claremont, Inglewood Hotel (Inter-War Mediterranean) in Inglewood and the Criterion Hotel (Inter-War Free Classical) in the city.

103 *Building and Construction*, 29/01/1937. Photographic evidence of the former facade of the Ocean Beach Hotel, and the Scarborough Beach Hotel, was not available at the time of writing this report.

104 The increase in car ownership also made such entertainments accessible to more patrons, particularly in the evenings.

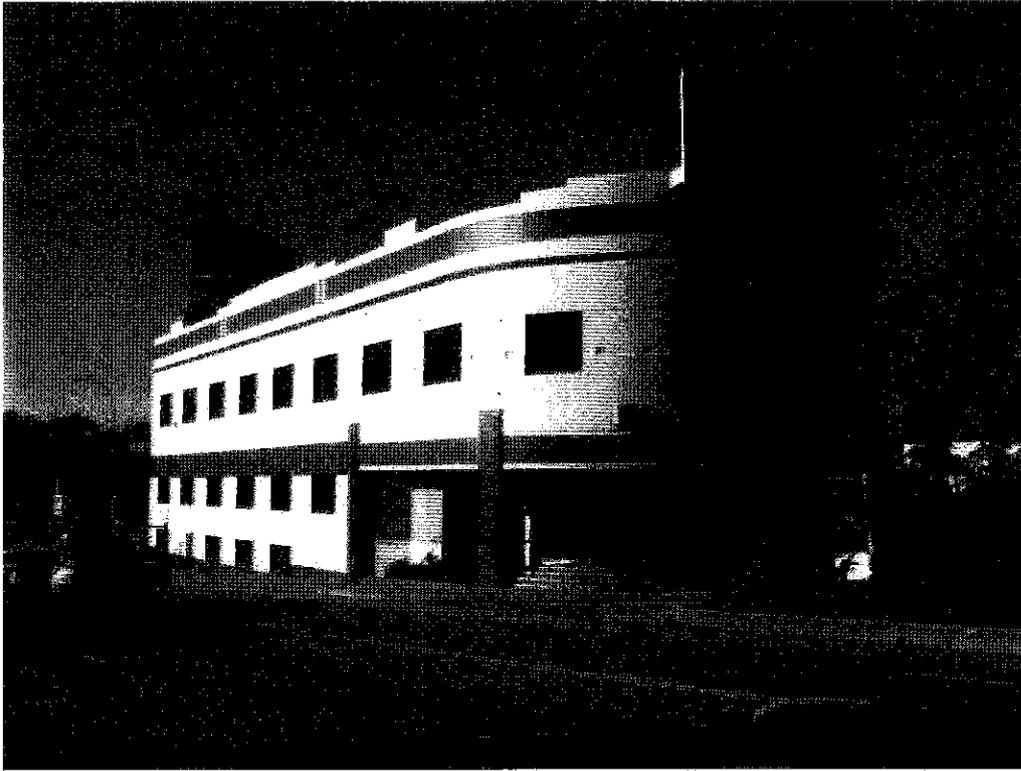


Figure 122 Motor House, Perth. Hocking Planning & Architecture (WDW), June 2003.



Figure 123 The Civic Hotel, Inglewood. Hocking Planning & Architecture (WDW), June 2003.

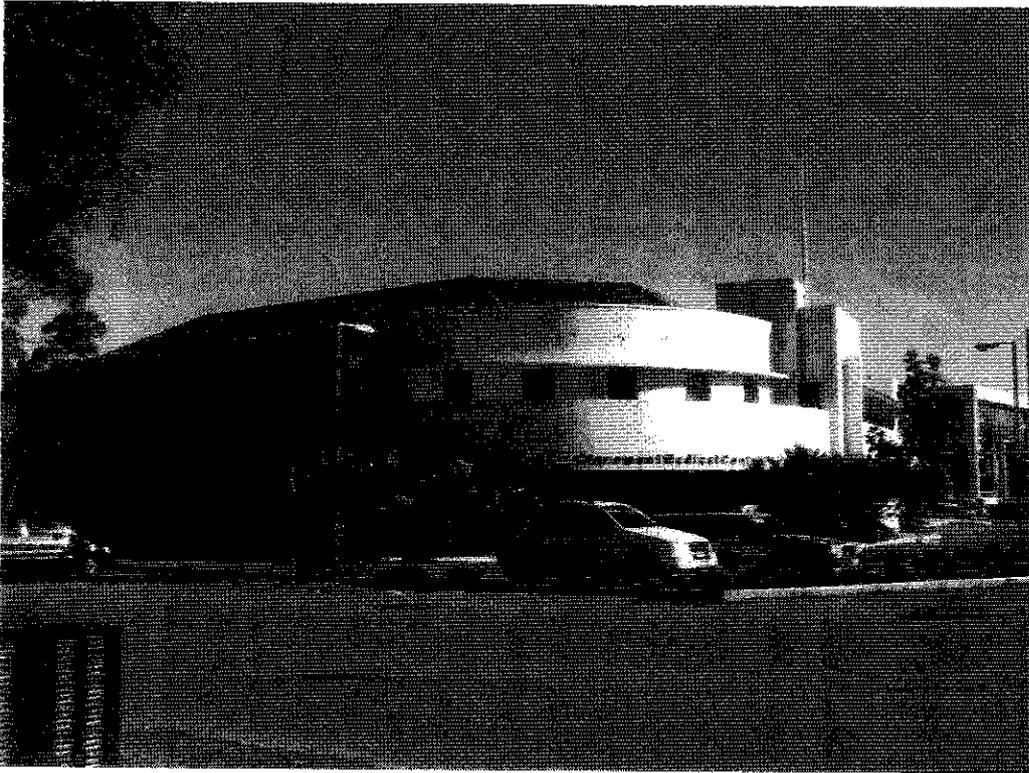


Figure 124 The former Highway Hotel, Claremont. Hocking Planning & Architecture (WDW), June 2003.

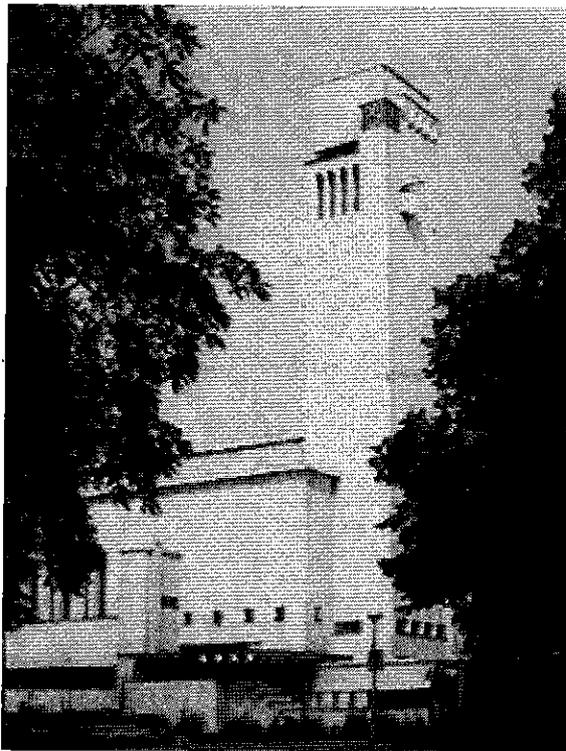


Figure 125 W.M. Dudok's Hilversum Raadhuis (Town Hall), (www.gooi.net/kunst/dudok1.htm). Date and author of photographer unidentified.

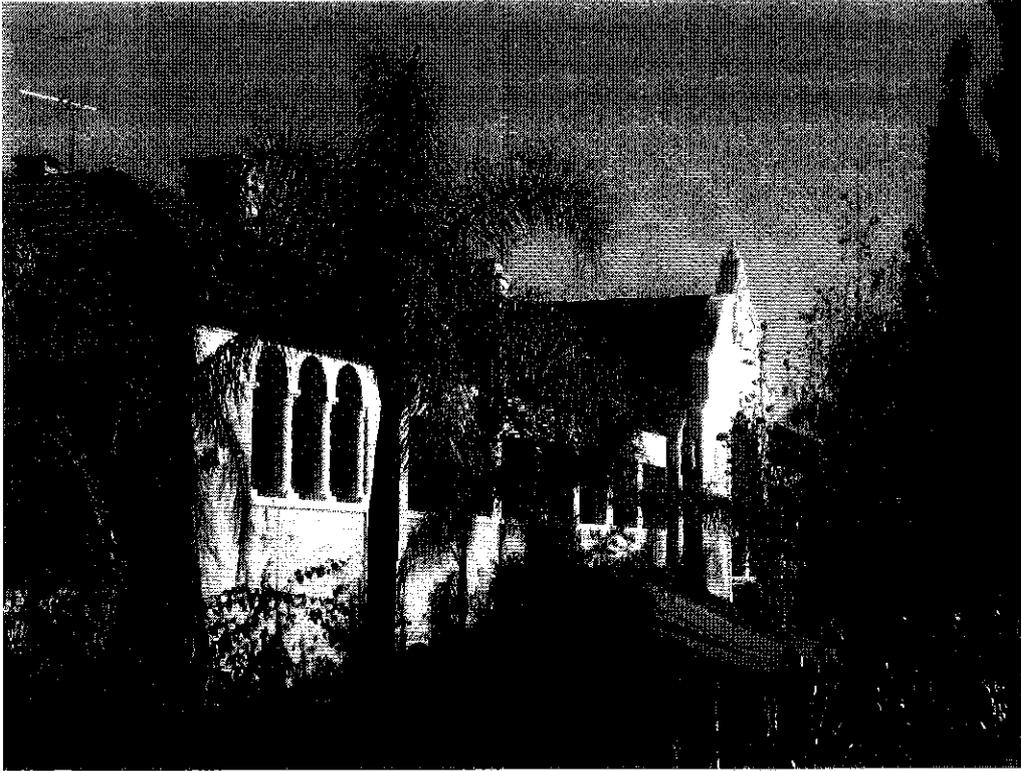


Figure 126 Captain Stirling Hotel, Nedlands. Hocking Planning & Architecture (WDW), June 2003.



Figure 127 The Criterion Hotel, Perth. Hocking Planning & Architecture (WDW), June 2003.



Figure 128 Beaucott Buildings, Mount Lawley. Hocking Planning & Architecture (WDW), June 2003.

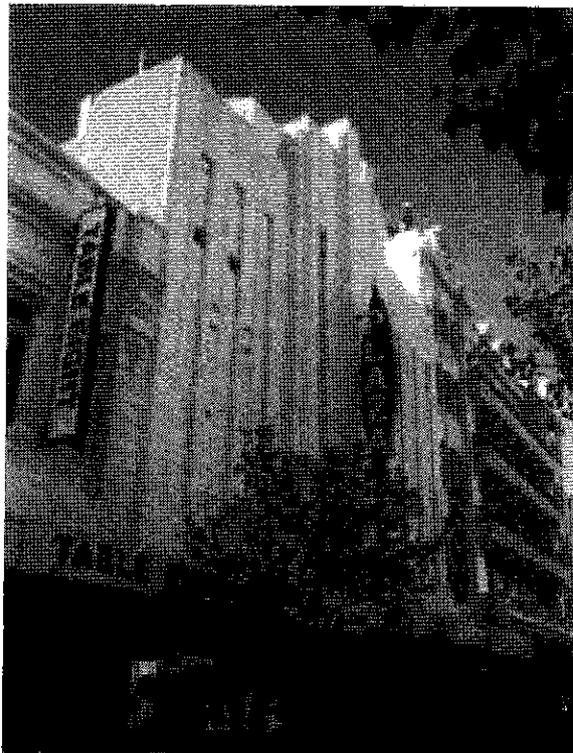


Figure 129 Plaza Theatre and Arcade, Perth. Hocking Planning & Architecture (WDW), June 2003.



Figure 130 Regal Theatre, Subiaco. Hocking Planning & Architecture (GC), June 2003.



Figure 131 Cottesloe Beach Hotel. Hocking Planning & Architecture (WDW), December 2002.

4.3 Further Research

The search for original plans for both the Canning Bridge Hotel and the Raffles Hotel has been unsuccessful. Enquiries have been made to the City of Melville, its Heritage Officer at the Melville Discovery Centre and the Melville Historical Society. The Art Deco Society of WA has a large collection of original materials that once belonged to the architect W. G. Bennett, but there are no plans or documents relating to the Raffles Hotel in this collection. A search of the State Records Office and the Battye Library yielded the Health Department plans, undated (c.1960s), which have been used for this Conservation Plan. It is recommended that the search for early plan drawings for the Canning Bridge Hotel and the Raffles Hotel be continued.

The 1896 date for the Canning Bridge Hotel needs to be confirmed. This date is cited, but not referenced, in the City of Melville's Municipal Inventory. The earliest listing to be found for the hotel in the Wise Post Office Directories is 1900, which could suggest the hotel was in existence from at least 1899. While difficulty was found in locating the name of the suburb in the directories prior to 1900, neither Applecross nor Melville Park (the suburb given in 1900) are listed, it was noted that the Canning Bridge Hotel was not mentioned in the directory's 1899 list of hotels.

The history of the mature Canary Island palm trees in the vicinity of the hotel has not been established. Descriptions of plantings for the 1937 Raffles Hotel do not include plantings outside the hotel grounds.

Archaeological excavations ought to be made at the Raffles Hotel site to reveal information about earlier European occupation of the area.

5.0 ASSESSMENT OF SIGNIFICANCE

5.1 Introduction

The criteria adopted by the Heritage Council in November 1996 have been used to determine the cultural heritage significance of the place.

5.2 Aesthetic Significance

The external facades of Raffles Hotel indicate that the building is a significant example of the Interwar Functionalist style. (Criterion 1.1)

The 1937 extension and remodelling of the former Canning Bridge Hotel revealed an innovative and creative approach to the development of the site. For example, the exterior Biergarten which took advantage of the river views, and the conversion of the former verandahs into modern loggias. (Criterion 1.2)

Raffles Hotel, with its distinctive 1930s facade, is a well-known Perth landmark. It is situated on a promontory of land and visible from the Canning and Swan Rivers, the Kwinana Freeway and the Canning Bridge approach into the City of Melville. (Criterion 1.3)

Raffles Hotel together with the former Applecross District Hall and the Canning Bridge, creates a significant cultural environment. Raffles Hotel and the Hall provide visual evidence of the stylistic changes that occurred in interwar building design during the second half of the 1930s, while the nearby bridge features as a significant landscape element. (Criterion 1.4)

5.3 Historic Significance

The evolution of the building from the Canning Bridge Hotel (1896) is an example of building practice during the post-depression years when existing structures, particularly commercial buildings, were modernised and extended for contemporary use. (Criterion 2.1)

Raffles Hotel together with the Applecross District Hall, the Canning Bridge and Canning Highway are indicators of the history and development of the Melville district. (Criterion 2.2)

Raffles Hotel has a continuous history as a licensed premise since 1896 and possibly earlier. It provided refreshment, accommodation, entertainment and a place for meetings and special events organised by the community. (Criterion 2.2)

Raffles Hotel is a major work by Perth architect W. G. Bennett who made a significant contribution to the architectural history of this State. Other significant works by Bennett include the Plaza Theatre and Arcade in central Perth (1936-7), the Kalgoorlie Olympic Pool (1938), the Chalet at Araluen and other structures (1937), and the Beaucott Buildings (c.1937) in Beaufort Street. (Criterion 2.3)

The exterior and interior design and detailing of Raffles Hotel was highly regarded in its day, for its excellence. Contemporary accounts provide valuable insights about current fashion trends and lifestyle patterns during the late 1930s. (Criterion 2.4)

5.4 Scientific Significance

5.5 Social Significance

Raffles Hotel continues to have high social value in the community as a place for recreation and entertainment. (Criterion 4.1)

Raffles Hotel has been valued by various groups within the community such as the Art Deco Society of WA; the Melville Historical Society; the Melville Ratepayers Association and the Friends of the Swan River. (Criterion 4.1)

The prominence of the hotel on its site and its use by generations of Western Australians has contributed to the community's sense of place. (Criterion 4.2)

5.6 Rarity

Raffles Hotel is one of the last remaining hotels representing the Inter-War Functionalist style in the metropolitan area. The other examples, by Marshall Clifton and Reginald Summerhayes, include The Civic (1940) in Inglewood, and The Coronado (fmr Highway Hotel, 1940) in Claremont. However; these buildings reveal a slightly different design aesthetic within the Inter-War Functionalist style with the massing of horizontal and vertical forms reminiscent of European examples, such as those by the Dutch architect, Willem Dudok. Other surviving examples of 1930s hotels, either newly constructed or extensively remodelled older buildings, are stylistically different; for example the Captain Stirling Hotel in Nedlands and its twin the Inglewood Hotel (Inter-War Mediterranean) and the Criterion Hotel (Inter-War Free Classical). (Criterion 5.1)

5.7 Representativeness

Raffles Hotel is an example of the Inter-War Functionalist style as applied to a commercial building. (Criterion 6.1)

Raffles Hotel is a representative example of a hotel designed to take advantage of the local climate. (Criterion 6.2)

The building represents a typical example of the post-depression practice of remodelling and modernising existing commercial buildings. (Criterion 6.2)

5.8 Condition

Raffles Hotel is in sound condition. However; there has been an indifferent approach to the architectural character of the place with many unsympathetic alterations and additions taking place over the years. While these changes have considerably affected the aesthetic values of the interior, and to a lesser extent the exterior facades of the 1937 Hotel, the historic and social values remain intact.

5.9 Integrity

Raffles Hotel continues to be used as a licensed premises, and has functioned as a hotel since at least 1896. Therefore; in terms of integrity in relation to the original intention of the place, and its ongoing use as a hotel, Raffles Hotel retains a high degree of integrity.

The architectural integrity of Raffles Hotel has been compromised by the removal of most of the 1930s interior furnishings, alterations such as the enclosure of the loggias, and various additions to the exterior. These changes have reduced its aesthetic value.

The aesthetic value of Raffles Hotel in relation to its site and landmark qualities has moderate integrity.

The remnants of the former Canning Bridge Hotel have low integrity, but are sufficient to indicate the historic evolution of the place.

The external facades of the 1937 Raffles Hotel have the ability to be restored.

5.10 Authenticity

The external envelope of Raffles Hotel is largely intact, and the structures of the 1896 hotel are visible within this envelope. The earlier 1896 hotel largely determined the form of the 1937 building and this aspect of the history of the Hotel remains evident.

A substantial amount of the original fabric of the exterior facades of Raffles Hotel remains intact, despite the enclosure of the loggias and more recent additions.

The interior design of the 1937 ground and first floor Lounges has lost authenticity through the removal of original furnishings and unsympathetic treatments. Some original elements remain such as the fireplace, the maple and wrought iron staircase and some pillars in the Main Lounge.

6.0 CULTURAL HERITAGE SIGNIFICANCE

6.1 Statement of Significance

Raffles Hotel, a two-storey hotel built in 1896 and remodelled in 1937 in the Inter-War Functionalist Style, has cultural heritage significance for the following reasons:

The place is a well-known landmark due to its prominent location on a promontory of land overlooking the Swan and Canning Rivers

The place is known to have operated continuously to the present day as a licensed hotel since 1896, and possibly earlier. The surviving fabric of the Canning Bridge Hotel reveals its influence on the subsequent form of the 1937 hotel with its two wings and internal courtyard area, which has been largely retained to this day;

For over a century the place has had high social value for the community as a place for recreation, the celebration of events, meetings and functions;

Externally the place reveals its distinctive 1937 design and remains a significant example of the work by Perth architect W. G. Bennett, a major exponent of Inter-War Art Deco and Inter-War Functionalist style buildings in Western Australia whose work also included the Regal Theatre and Plaza Arcade and Cinema;

The building is one of the few surviving examples of a hotel in the Inter-War Functionalist style remaining in the metropolitan area;

The place is a representative example of the trend to modernise existing buildings, in particular commercial buildings, during the 1930s through the addition of modern facades and the renovation of interiors. These buildings provided a modern image for their patrons, which reflected the post-depression trends of optimism about the future, new technologies and progress. Raffles Hotel and the nearby Applecross District Hall provide indicators of the stylistic changes that occurred in inter-war building design during the second half of the 1930s; and,

The place, together with the former Applecross District Hall and the Canning Bridge, creates a distinctive cultural landscape.

The separate motor lodge (1959), is not considered in this assessment. The Raff's nightclub and River Lounge (c. 1985) and the drive-in bottleshop built as additions to the hotel are not considered to have heritage significance. Intrusive elements include the car park, some signage, canopies over the windows and an entrance porch.

6.2 Levels Of Significance

Relative degrees of significance within the place mean different conservation actions are appropriate. Gradings of significance are based on a five-tier system as follows:

- Exceptional Significance¹⁰⁵
- Considerable Significance
- Some Significance
- Little Significance
- Intrusive

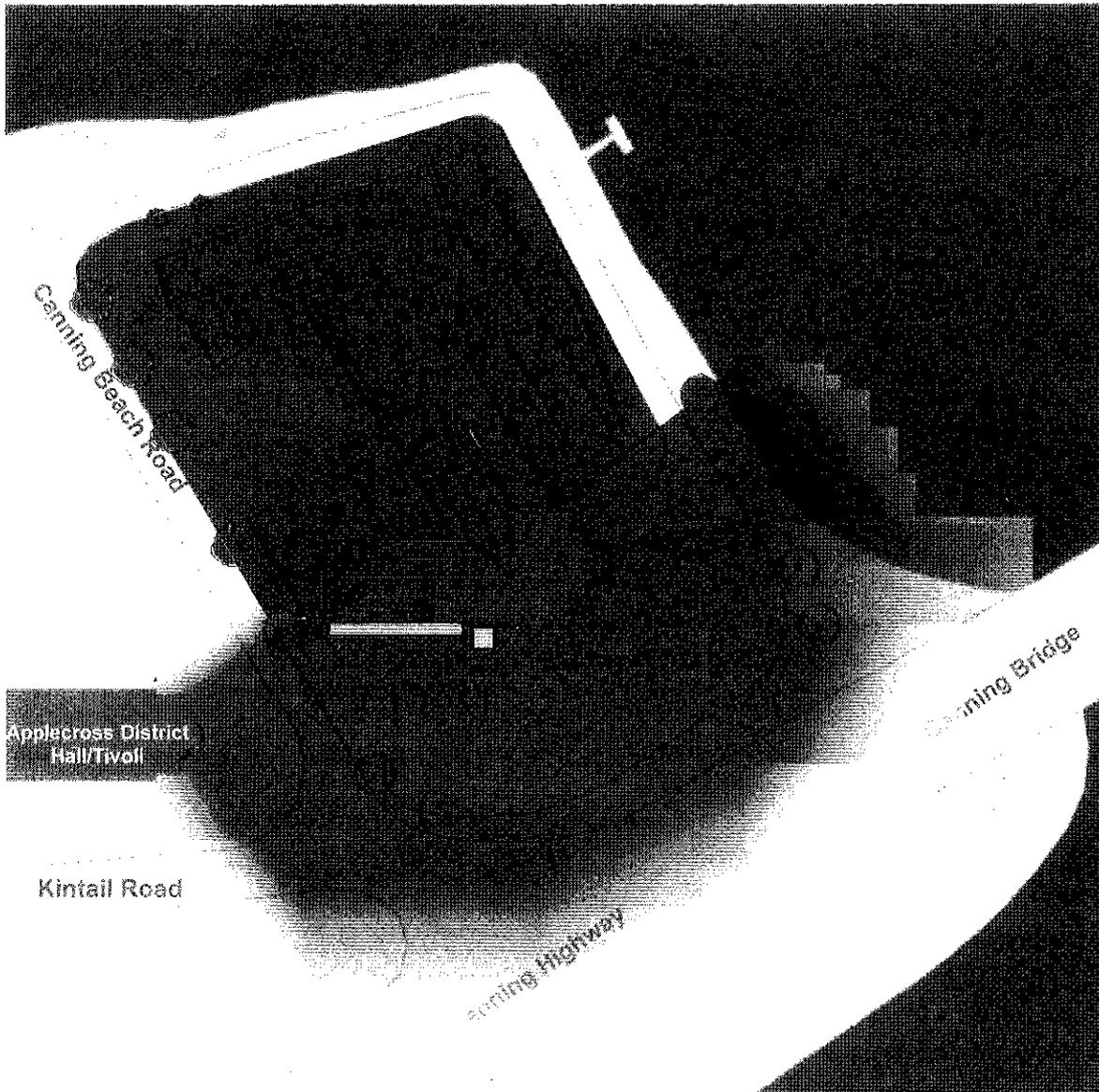


Figure 132 Zones of Significance across the site.

¹⁰⁵ There is no aspect of the place that is of exceptional significance.

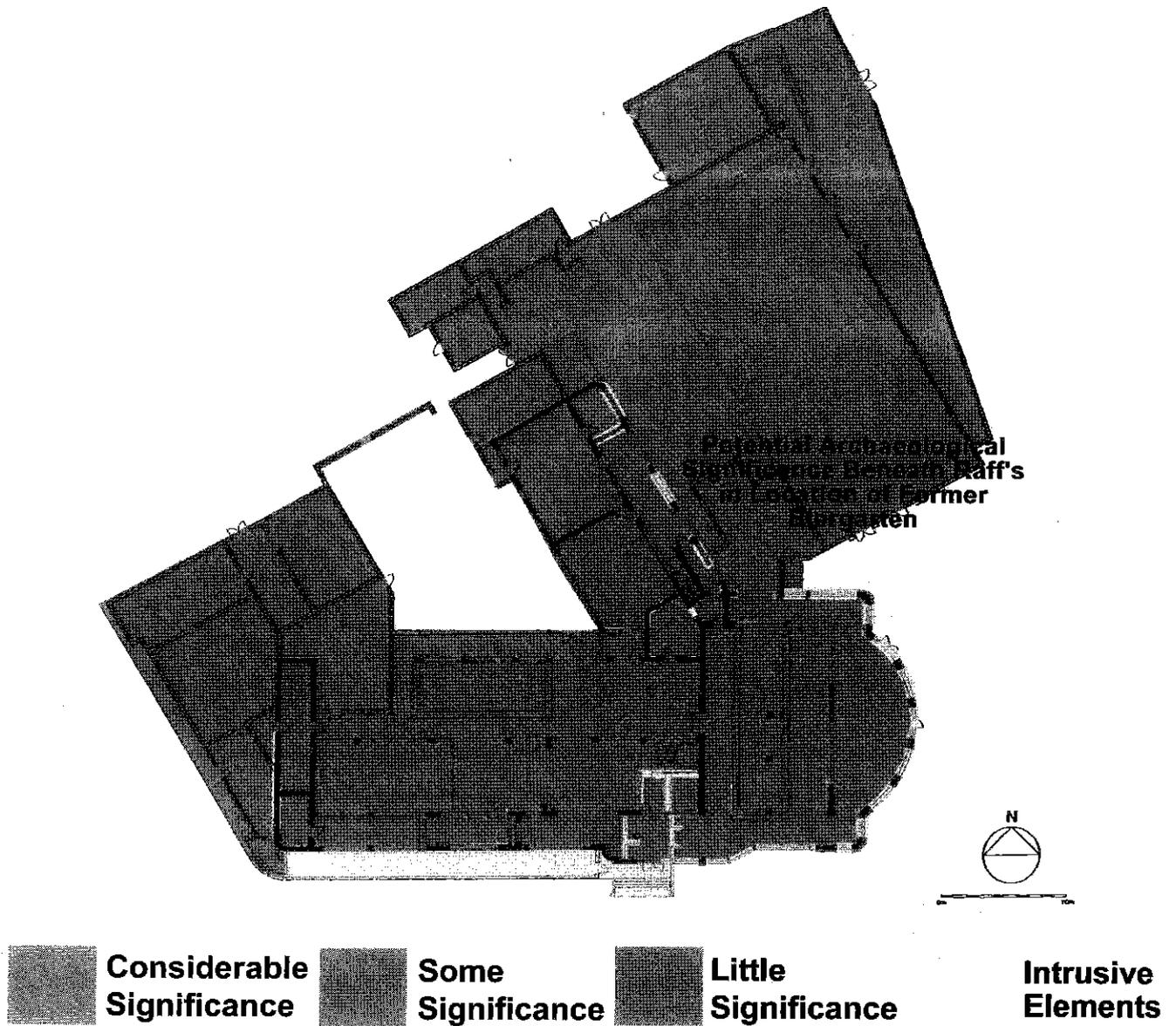


Figure 133 Detailed elements of significance diagram (ground floor) showing the core of significant fabric.

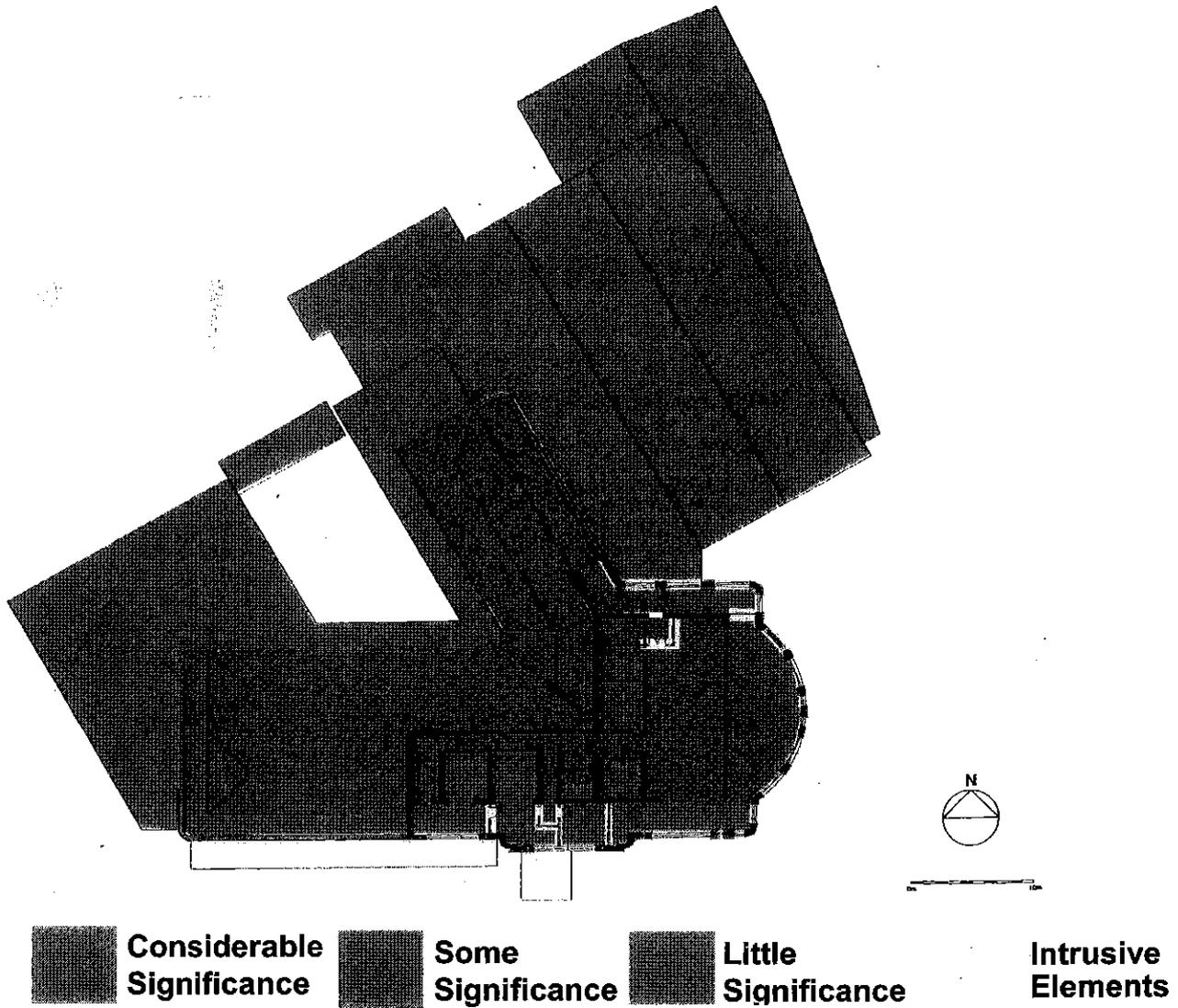


Figure 134 Detailed elements of significance diagram (first floor) showing the core of significant fabric.

6.3 Schedule Of Significance

The degrees of significance within the place are indicated graphically in Figure 132, Figure 133 and Figure 134 above. They are set out in the schedule below.

Exceptional

- There are no elements of exceptional significance.

Considerable

- The v-shaped core of the hotel established in 1896 with overlay of the 1937 remodelling.
- 1937 form and character.
- 1896 masonry and 1937 rendered masonry.
- The timber and steel stair from the 1937 remodelling.
- The fireplace from the 1937 remodelling.

Some

- The forecourt south and east of the core of the hotel extending to the Applecross District Hall at the west, to Canning Bridge at the east and to the Canning River at the south.
- The street tree plantings to Canning Beach Road.
- The Canary Island Palms to the river foreshore.
- The modified interior space and fabric of the 1896 and 1937 schemes.
- The roof form retained from the 1896 scheme.
- Objects of memorabilia associated with use of the place by groups associated with the place.

Little

- Raffles Motor Lodge
- Existing Courtyard Beer Garden
- Raff's Nightclub¹⁰⁶
- All interior and exterior finishes and fittings except those of the 1896 – 1937 period

Intrusive

- Aluminium framed windows
- Metal awnings
- Entry Porch
- Brick planter boxes to southern and eastern facades
- Enclosed verandah at ground floor to southwest of building
- Air Conditioners
- Recent applied signage

¹⁰⁶ Officers of the Heritage Council of Western Australia have drawn attention to the potential archaeological significance of the ground on which the Raff's Nightclub stands due to its use between the late 1930s and 1950s as the Bier Garten. It also has potential significance as an open space setting for the Hotel core if the Nightclub were removed.

- Suspended ceilings
- Recent finishes to interiors

7.0 CONSERVATION RECOMMENDATIONS

7.1 Introduction

The purpose of the conservation policy recommendations is to manage change in a way supportive of cultural significance. The intentions of the conservation policy are:

- To retain and reveal significance,
- To identify feasible and compatible uses,
- To meet statutory requirements,
- To work within procurable resources; and,
- To anticipate threats and opportunities.¹⁰⁷

The conservation policy recommendations are set out in the following sections:

- Method of Approach;
- Retention and Enhancement of Landmark Form, Setting and Views;
- Reconstruction and Restoration of Exterior Form of Hotel Building;
- Adaptation of Interiors; and,
- Interpretation.

7.2 Method of Approach

7.2.1 Acceptance of Assessments of Significance

Recommendation 1

The assessments, statement and levels of significance for the Raffles Hotel set out in this document should be accepted as a guide to future planning and works by the owners¹⁰⁸ and the Heritage Council of Western Australia.

7.2.2 Acceptance of Recommendations

The purpose of these recommendations is that they be accepted and used as a guide to anyone with an interest or responsibility in the conservation and use of the place. This would, of course, include the owners and users. It would also include the Heritage Council of Western Australia. Although the Heritage Council has no formal process for 'endorsing' conservation plans, it does incorporate conservation plans, and their recommendations, into heritage agreements and uses those plans as guiding documents.

Recommendation 2

The policies recommended throughout this document should be accepted as a guide to future planning and work by anyone with an interest in the place's conservation, including the Heritage Council of Western Australia, the owners and others responsible for managing the place.

¹⁰⁷ Kerr, J.S., *The Conservation Plan*, The National Trust of Australia (NSW), 2000, p.24.

¹⁰⁸ Any reference to owner or owners in the recommendations section of this conservation plan means the owner of the place as it may vary from time to time.

Recommendation 3

The policies recommended throughout this document should be accepted regardless of the future use of the place.

Recommendation 4

If the Heritage Council enters into a Heritage Agreement concerning the place, this conservation plan should be incorporated into the agreement in order to guide conservation.

7.2.3 Use of the Burra Charter

The Burra Charter is used by Australian heritage agencies and conservation practitioners as a guide to conservation for places of cultural significance. The charter has been used in the formulation of this conservation plan. Its use in implementing the plan is recommended here.

Recommendation 5

The Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (Burra Charter) as revised in 1999 should be used to guide the conservation of the cultural significance of the place.

The Burra Charter is available online at www.icomos.org/australia.

7.2.4 Expert Advice

Recommendation 6

Future planning and works should be supported by expert advice and supervision.

7.2.5 Heritage Listing & Consultation

The place is entered on the State Register of Heritage Places. It is a requirement of the owners of registered places that proposals for works to the place be submitted to the Heritage Council of Western Australia for its advice.

Recommendation 7

Proposals for change at the place, including conservation works, must be submitted to the Heritage Council for its advice prior to implementation together with a request that the proposal be considered along with this conservation plan.

The National Trust of Australia (WA) has also classified this place. This classification has no material effect on the statutory obligations of the owner. Nevertheless, the National Trust has a strong interest in the place and an interest in proposed changes. The Art Deco Society of WA too has previously demonstrated a strong interest in the retention and conservation of the place and is likely to be interested in ongoing conservation and development at the Raffles. Other groups and individuals also may be interested in the place from time to time.

Recommendation 8

While not a statutory obligation, the National Trust of Australia (WA), the Art

Deco Society of WA and other interested parties should be consulted on and informed of proposals for change at the place whenever practicable

The place is also in the Register of the National Estate. This has no practical implications on the management of non-Commonwealth owned places except where Commonwealth funding is used to effect change at a place. For instance, were Commonwealth funding used in a widening of Canning Highway, the Australian Heritage Commission would need to be consulted.

7.2.6 Review of the conservation plan

Recommendation 9

This conservation plan should be reviewed by December 2008 or earlier if the need arises.

7.2.7 Further Research

Further research will assist in our understanding of the place and will inform conservation actions.

Recommendation 10

Further research into the development and use of the place should continue.

7.2.8 Use

Recommendation 11

Uses at the place should be determined by what is compatible and what is feasible consistent with its heritage value.

The existing tavern use is compatible with the use of the place although some change in operations that would allow the loggias to be reconstructed is desirable.

Recommendation 12

Other uses may be introduced to the place as long as a core use as a tavern continues.

Core use as a tavern would mean the use occupying at least one third of the floor area of the original interiors of the ground floor southern wing excluding the loggias (which should eventually be returned to covered outdoor areas). The tavern core should also have direct views to the water. Further, the heritage core of the place as viewed from the outside should be ostensibly associated with this core use.

7.2.9 Levels of Significance

The levels of significance provide a guide to conservation actions. Greater care is taken for fabric and elements of more significance. Adaptation and, in some cases, removal of fabric is possible for elements of lesser significance. Intrusive elements should be removed when no longer of use.

General recommendations for the various levels of significance are set out below in Recommendation 13 to Recommendation 17. However, it should be recognised that site specific recommendations have been developed throughout this document based on these

recommendations and that the general recommendations set out below should be considered subordinate to the more detailed recommendations set out elsewhere in this document.

Recommendation 13

The greater the significance of a fabric or a feature of a place, the more care should be taken in actions which may affect it.

Recommendation 14

For zones and elements of considerable significance:

The significant fabric of such zones or elements should be preserved, restored or reconstructed as appropriate. Reconstruction of earlier, significant landscape features (including structures) may be considered if sufficient detailed information is available to support accurate reconstruction and if the works are in keeping with the current significance of the place.

Significant elements that are damaged are to be restored. Intrusive elements should be removed (after recording) and new elements that are detrimental to the significant fabric and/or spaces should not be introduced.

Adaptation is acceptable to the extent of introducing new services and minor landscape elements (including plantings, structures or other landscape features), provided this does not adversely affect the cultural heritage significance of the zone or element. Modification of significant elements is generally unacceptable, however, minor adaptations may be considered if it is in keeping with the overall aims of the conservation policy and has minimal impact on the cultural heritage significance. Any alteration to significant elements should be documented.

There should be no new works (including plantings, structures or other landscape features) that will obscure important views or adversely affect the setting of the place, its heritage character or its significant elements.

Recommendation 15

For zones and elements of some significance:

The significant fabric of such zones or elements should be preserved, restored or reconstructed as appropriate. Reconstruction of earlier, significant landscape features (including structures) may be considered if sufficient detailed information is available to support accurate reconstruction and if the works are in keeping with the current significance of the place.

Consideration should be given to restoring any elements of some significance that are damaged. The removal of intrusive elements is to be encouraged and new elements that are detrimental to the significant fabric and/or spaces should not be introduced. Adaptation is acceptable provided this does not adversely affect the cultural heritage significance of the space or element. Any alteration to significant elements should be documented.

New works (including plantings, structures or other landscape features) are acceptable provided that they will not adversely affect the heritage character of the place or its significant elements.

Recommendation 16

For zones and elements of little significance:

The fabric of such zones or elements may be retained or removed depending on the future use requirements. However, care should be taken to ensure that any such works do not detract from the significance of adjoining spaces or elements. Before removal ensure that comprehensive photographic and graphic recording is completed.

New works (including plantings, structures or other landscape features) are acceptable provided that they will not detract from the significance of adjoining spaces or elements (including significant views).

Recommendation 17

For intrusive zones or elements:

Intrusive zones or elements have been identified as detracting from the significance of the place and their removal, and/or replacement with more appropriate detailing, should be encouraged. Their removal needs to be assessed against other considerations, such as functional and economic, before implementation. Before removal/demolition ensure that comprehensive photographic and graphic recording is completed.

7.2.10 Recording

Recommendation 18

As part of the place's ongoing conservation, all work at the place should be recorded and a copy of the record held on durable stock in a permanent archive away from the place.

The intention of this recommendation is to recognise the need for all work to be documented. The application of it need not mean that bulky documentation be prepared for minor or routine maintenance. Although discrete archival records should be prepared for more significant works the availability of resources may mean that a simple log of actions will suffice for much of the daily work at the place. This log should be periodically copied and placed in an accessible archive.

Recommendation 19

Large-scale conservation and adaptation works are currently proposed for the place and if these or similar schemes are carried out, they should be recorded from pre- to post-contract with a discrete record.

7.2.11 Structures and Spaces of Lesser Significance

Generally the part of the site to the north and west of the hotel heritage core is of low significance and may be modified with some freedom.

Recommendation 20

The structures and spaces of low significance identified in Figure 135 below may be retained, removed or modified.

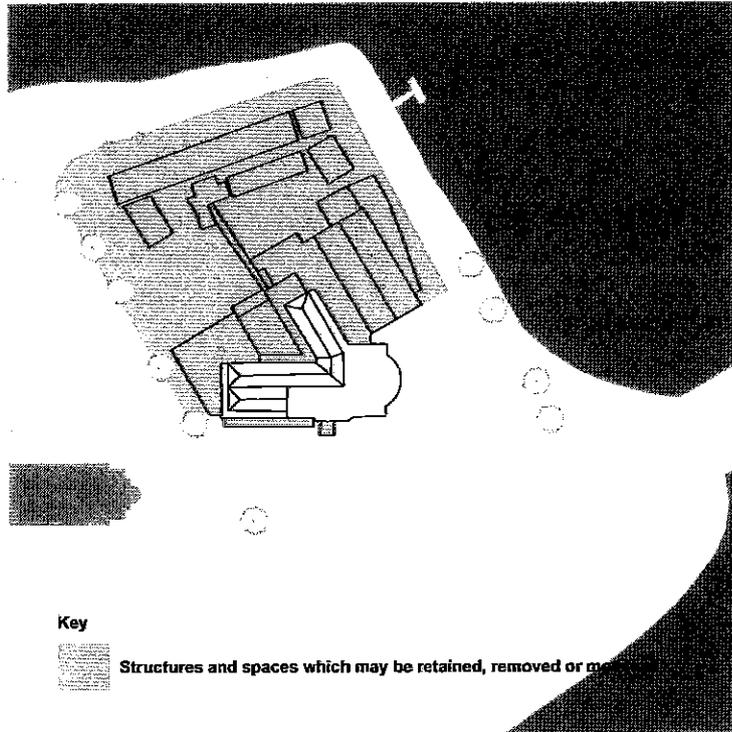


Figure 135 *Diagram showing the areas where structures and spaces may be modified with some freedom.*

7.2.12 Retention of 1896 and 1937 Fabric

The significance of the place lies principally in its open setting at the foot of the Canning Bridge and in the fabric established in its two main building regimes – 1896 and 1937.

Recommendation 21

Fabric identified as authentic to the 1896 to 1937 period should be retained and, wherever possible, revealed.

The significance of the 1896 fabric is overlaid by the 1937 fabric. Its significance as a late nineteenth century hotel is difficult to appreciate without the removal of 1937 fabric.

Recommendation 22

1937 fabric should generally not be removed to uncover 1896 fabric.

There are two areas where the form of the 1896 fabric can be best understood. The first is in the roof form as seen from the west. The second is on what was the gabled front wall of the place which is now an island of wall in the main bar area which shows the location of a window. It is anticipated that if the existing décor were removed together with the underlying render the brick and stucco banded early exterior may be seen.

Recommendation 23

Views to the roof from the west should be retained and the relationship to the development of the 1896 hotel interpreted.

Recommendation 24

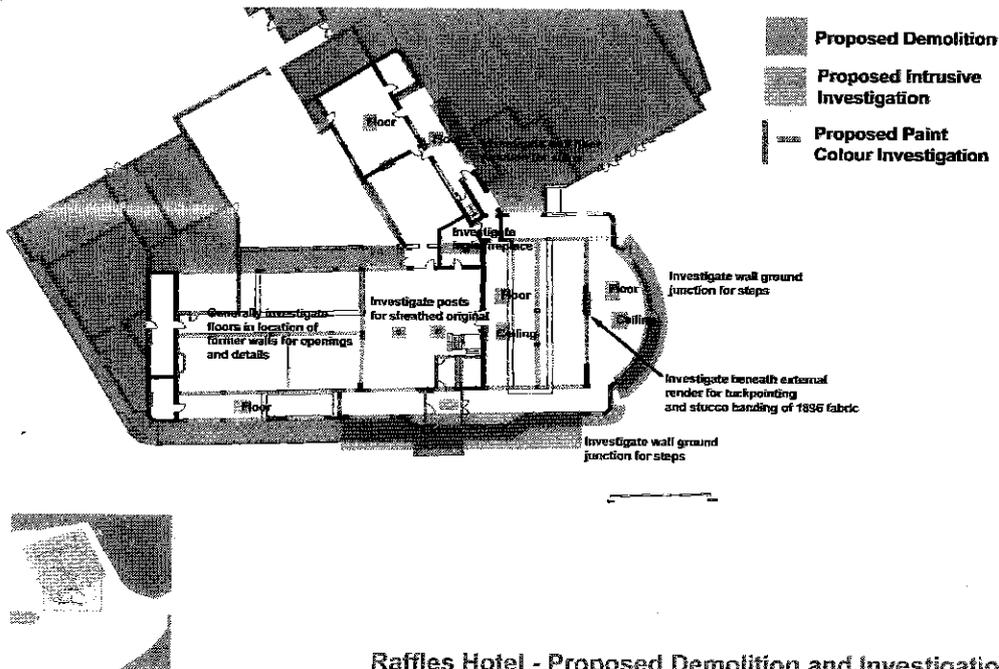
The island of wall in the main bar which was the original east façade should be investigated for evidence of the original brick and stucco banding of the 1896 hotel. Depending on condition, the fabric in this location should be preserved or reconstructed to its 1896 form and interpreted as evidence as the first stage of construction of the hotel.

7.2.13 Invasive Investigation

In the process of carrying out this conservation plan, an invasive investigation largely as described in Figure 136 has been carried out to determine the extent, condition, authenticity and integrity of fabric. The full extent of underlying fabrics cannot be fully known without extensive demolition of fabrics of low significance.

Recommendation 25

If fabric of low significance is demolished, the underlying fabrics should be investigated in the process to confirm their extent, condition and authenticity.



Raffles Hotel - Proposed Demolition and Investigation
Hocking Planning & Architecture - April 2003

Figure 136 Diagram showing proposed demolition for one implementation scenario and investigation of fabric in order to confirm extent, condition, authenticity and integrity of underlying fabrics.

7.2.14 Archaeological Investigation

Recommendation 26

If intrusive siteworks and demolition are carried out, they should be done under a watching brief of an historical archaeologist.

Recommendation 27

In consultation with the Heritage Council of WA, a protocol for archaeology should be developed before any program of conservation or adaptive works is carried out.

The Heritage Council has already signalled the potential archaeological significance of the area currently known as Raff's Nightclub due to its use as the Biergarten from 1937 and through the 1950s.

Recommendation 28

If the Raff's Nightclub is demolished and the ground excavated, work should be accompanied by a specific program of archaeological investigation of the area formerly known as the Bier garden in line with the protocol for archaeology recommended within the preceding policy recommendation in order to explore its potential significance.

7.2.15 Significant Objects

The place contains items including trophies, photographs and memorabilia of recent times that are not intrinsic to the significance of the place as a whole but have social significance to those who have been associated with the place.

Recommendation 29

Before any cessation or change of use, the manager should discuss with those known to be associated with the place how the objects significant to users of the place should be conserved so that the meanings held by associated groups are retained. If the objects are not to be retained on site or by groups or individuals associated with the place, then they should be offered to the City of Melville, the Melville Historical Society or other individual or group considered appropriate by the owner and Heritage Council of WA.

7.2.16 Maintenance

Recommendation 30

Maintenance of the fabric of the place should be accepted as the single most important part of the conservation program.

Recommendation 31

A program of cyclical inspection and rectification of defects should be developed and implemented on an ongoing basis.

7.2.17 New Development

Palassis Architects' draft conservation plan of 2001 indicated that development on the site could take place north and west of the v-shaped core of the hotel and that such development could be 'multi-storeyed'. In 2002, the Heritage Council approved, in-principle, a proposal referred to it by the City of Melville including apartment blocks varying between four and six storeys and a seventeen-storey apartment tower on the site. Clearly, there is some scope for medium to high-rise development on the site while at the same time conserving significant fabric and aspects of the setting.

The Heritage Council did not support the proximity and height of the proposed apartment blocks immediately adjacent to the core of the hotel. The Heritage Council gave flexible guidance on what sort of proximity and height may be acceptable indicating that the proximity may not be problematic if the height were reduced. Indeed, their support for the seventeen-storey tower which is located some distance from the heritage core indicates that quite significant height can be compatibly accommodated if sufficient horizontal separation can be achieved.

Recommendation 32

The proximity and height of new buildings adjacent to the heritage core of the hotel should satisfy the Heritage Council.

It should be recognised that there are also opportunities for developing new structures which join the heritage core, but that these could be no higher than the fabric they abut. Whatever new development occurs it is important that it is identifiable as new work and does not mimic the form of the significant fabric in a way that confuses understanding of the place.

Recommendation 33

New structures should be readily identifiable as new work.

7.3 Retention and Enhancement of Landmark Form, Setting and Views

Recommendation 34

The landmark form, setting and views of the Raffles Hotel should be retained and enhanced.

Recommendation 35

The relationship of the place to the foreshore, particularly to the east and south, should be retained and reinforced in new works.

Recommendation 36

The southern and eastern forecourt should be enhanced by the introduction of new landscaping which retains and reinforces the key views between: Raffles southern porch and the Applecross District Hall; Raffles' southern façade and the Canning River foreshore in Mt Pleasant; Raffles and Applecross District Hall and the Canning Bridge; Raffles eastern front and Canning Bridge and River.

Recommendation 37

The quality of the landscape of the southern and eastern forecourt should generally be maintained as a low and open landscape. No plantings with potential to grow higher than one storey should be maintained. Taller backdrop planting may be introduced behind the Raffles and behind the main building line of the Applecross District Hall.

Recommendation 38

Both the complex of symmetry and asymmetry of the Raffles, its eastern front and the encircled open space should be respected and reinforced in new works.

Recommendation 39

The use of the forecourt for parking has a long history and is compatible

with the cultural significance of the place. Parking may remain for as long as is useful in the southern forecourt.

Recommendation 40

The southern porch bay of the Raffles was designed and used as the principal vehicular drop off point for visitors to the place since 1937. It should continue as the principal drop off point and entry to the building.

7.3.1 Canary Island Palms to Waterfront

The view from Canning Bridge to the eastern end of the building is roughly framed by four Canary Island Palms (*Phoenix canariensis*) which contribute positively to the setting of the place.

Recommendation 41

The three mature Canary Island Palms on the waterfront are of some significance and should be retained. The immature palm may be retained, removed or replaced with a taller specimen. They may be augmented by a continued scheme along the waterfront as long as key views are retained.

7.3.2 Existing Beer Garden with Palms

The palms within the existing beer garden are recent and of little significance. The area is a former yard and hidden from view behind the landmark hotel.

Recommendation 42

The palms of the existing beer garden may be removed and new planting schemes introduced into the area.

7.3.3 Canning Beach Road

The street trees of Canning Beach Road help form a short vista north to Melville Water. Although they are of 'some' significance for the way they assist in forming this vista, they would not meet the threshold for entry into the Register of Heritage Places if considered in isolation.

Recommendation 43

The street trees of Canning Beach Road should be retained if possible but should be reinforced with further plantings as long as the end vistas to the water are retained and, where necessary, recovered.

If removal of the street trees is necessary, the trees should be replaced with the same species (*Erythrina indica*) and planted in a similar avenue planting along the street to reinforce the short vista. It should also be recognised that proposed developments of a combination of hard and soft landscaping along the eastern edge of Canning Beach Road have the potential to further enhance the landscape character and vistas now available in this stretch of the road.

7.4 Reconstruction and Restoration of Exterior Form of Hotel Building

7.4.1 Exterior Form

Recommendation 44

In conserving the exterior of the hotel, the approach should be to restore and reconstruct the exterior form of the hotel as remodelled in 1937 to its eastern and southern facades.

The loggias of the 1937 remodelling are one of the strongest elements in that remodelling. Over time they have been progressively recovered as interior space and closed in with intrusive aluminium screens.

Recommendation 45

The loggias should be recovered as indoor-outdoor spaces by the removal of aluminium screens. Any sheltering device necessary should be designed to minimise intrusion.

The reconstruction of the loggias to outdoor spaces would require the erection of walls between them and the interior of the hotel. The earlier walls need not be reconstructed in masonry as little fabric remains. Fragments of early walls should be retained. The significant views now extend from deeper within the interior than was originally the case and this is an aspect that should be retained.

Recommendation 46

Masonry walls between the recovered loggia spaces and the interior of the hotel core should not be reconstructed. Rather, new spatial divisions on the line of former walls should be adapted to retain views from within the building to the outside. Existing remnants of masonry wall at the edge of former loggia spaces should be retained.

The northern side of the east west wing of the hotel core has been much modified.

Recommendation 47

The northern side of the east west wing of the hotel core may continue to be adapted.

The western end of the hotel core has also been modified by the accretion of the bottleshop but much of the early fabric remains behind the shop.

Recommendation 48

The western end of the hotel core's east west wing may continue to be adapted as long as 1896 and 1937 fabric is retained.

7.4.2 Rendered Masonry Facades

Recommendation 49

The rendered façade should be retained and its finish in a light colour with darker lettering reconstructed based on investigation into the fabric and earlier colour schemes.

Recommendation 50

The lost section of masonry on the eastern side of the southern entry should

be reconstructed based on the physical evidence of the western side. The remaining octagonal column should be retained.

7.4.3 Flagmasts

The flagmasts on the southern elevation do not appear to be part of the 1937 scheme. Without flags they are hardly noticeable but their verticality detracts in a minor way from the emphatic horizontality of the southern elevation.

*Recommendation 51
The flagmasts may be removed when no longer of use. They may be used in the meantime.*

7.4.4 Neon Signage and Signage Generally

Although the current neon 'Swan' sign is only a couple of years old, large neon signs have a long history at the eastern end of the building. The fact of a large, animated neon sign enhancing the landmark significance of the building has been established for at least the last four decades.

The 'Swan' sign replaced a 'Swan Gold' sign removed following discontinuation of that beer. From at least the early 1960s and into the 1970s the sign was a more lightly framed though similar scaled neon advertising 'Raffles for Orlando Wines' the design of which effected a filigreed tiara to the building's prominent eastern end. Some may argue that the sign is intrusive to the building, but it should be emphasised that the place's significance does not rest solely in its Art Deco styling but to a large degree in its landmark prominence at the foot of the Canning Bridge – the neon sign has reinforced that significance. There is also neon signage above the fin of the southern bay though this contributes less to the landmark significance due to its size and location.

*Recommendation 52
The existing Swan beer neon sign and the sign on the southern bay may be retained as long as it is useful.*

*Recommendation 53
As long as a neon sign is in place above the eastern elevation, it should be illuminated in the evening.*

*Recommendation 54
The existing Swan beer sign may be replaced by a similar sized traditional open framed sign as long as:
the sign is of a similar scale;
the sign is animated;
the sign is neon;
the sign is not backlit with solid colour;
the sign has as light a framework as feasible; and,
the sign is advertising something available at the place.*

Whatever the use is from time to time there will be a need for signage. It is preferred that this signage be part of a coordinated signage strategy so that intrusion into significance is limited.

Recommendation 55

A coordinated sign strategy should be prepared for the whole site with particular emphasis on the heritage building.

Interpretive signage is also recommended for the site. Such signage should also be coordinated by a strategy as recommended above. See page 139 for recommendations on interpretation and introduced explanatory material.

7.4.5 Exterior Lighting

On top of the neon signage already discussed, exterior lighting also includes a neon band at first floor level on the eastern and southern facades, a flashing border of globes on the upper edge of the facades, and several floodlights.

Recommendation 56

The existing exterior lighting of neon band, flashing border and floodlights should be removed when no longer of use.

There exists the opportunity to further enhance the night-time presentation of the place through considered lighting.

Recommendation 57

The facades should be enhanced by lighting. Specifically:

The southern and eastern elevations should be lit in a way that accentuates the subtle horizontal rusticated modelling;

Western elevation should be lit to Canning Bridge Road;

Northern elevation should be lit to the courtyard; and,

The loggias and interior should be lit to give depth of modelling to the façade.

7.4.6 Additions outside the existing fabric

While there is considerable scope for additions north and west of the heritage core of the hotel, there are few opportunities elsewhere outside the core.

Recommendation 58

The heritage core of the building may be extended on the first floor west of the existing first floor as long as no part of it is visible above the existing parapet when viewed from the south and east and as long as it does not extend west of the extent of the existing first floor.

Recommendation 59

There should be no adjoining permanent additions to the east or south facades of the heritage core of the hotel. Existing additions to the 1937 scheme should be removed.

The southern forecourt is a major component of the setting of the Raffles and its open space cannot be intruded upon by structures or landscape interventions that would interfere with views across the space. A 1500mm height limit on new space enclosing structures would mean that eye level views across the space would remain open.

Recommendation 60

No new space enclosing structures above 1500mm high should be erected south or east of the east west wing of the heritage core of the hotel.

Although the existing beer garden is an open space at the rear of the place it contributes little to the significance of the place. It was only in recent times a beer garden and public area of the hotel and its current character demonstrates this. The area was previously a service yard to the hotel the enclosure of which has been significantly modified through successive demolition and extension on its southern side.

Recommendation 61

The existing beer garden north west of the heritage core need not be retained as open space.

An implication of the above policy is that the existing beer garden may be developed with structures adjoining the heritage core of the hotel that would not be visible from key views within the setting. In several ways, adjoining development at the north is desirable over schemes which isolate the heritage core within open space. For instance if intrusive fabric and fabric of low significance were removed from the heritage core it would certainly improve the setting and presentation of the place but in operational terms it would much reduce both the public and, more particularly, the service areas within the heritage core.

7.5 Adaptation of Interiors

7.5.1 Interiors Generally

Recommendation 62

The existing interior scheme may be retained for as long as is useful.

Recommendation 63

Not enough evidence exists to reinstate historic interior schemes fully, so the proposed scheme must be identifiably contemporary but of high quality.

Recommendation 64

Existing replacement timber flooring may be retained as long as it remains covered with a resilient finish. Flooring exposed to view should be reconstructed in matching timber boards where replaced with fibreboard and should be finished with tung oil.

Recommendation 65

1937 ceilings in place above existing suspended ceilings should be retained and exposed where able to be restored but reconstructed if in poor condition.

Recommendation 66

Should the existing use of the place as a hotel no longer be feasible the place should be adaptively reused.

Recommendation 67

Land with development potential within the place should not be developed unless a feasible long term use for heritage core of the hotel has been secured.

Recommendation 68

The ground floor of the heritage core of the hotel has been almost entirely opened up and this situation can remain.

Recommendation 69

Should new partitions be required in the heritage core of the hotel, it is preferred that these reinstate former spaces or be of low height and largely transparent.

Recommendation 70

The maximum division of interior spaces by full height walls within the heritage core of the hotel should be the 1937 scheme described in Figure 137 below or as otherwise confirmed by documentary and physical evidence of that scheme.

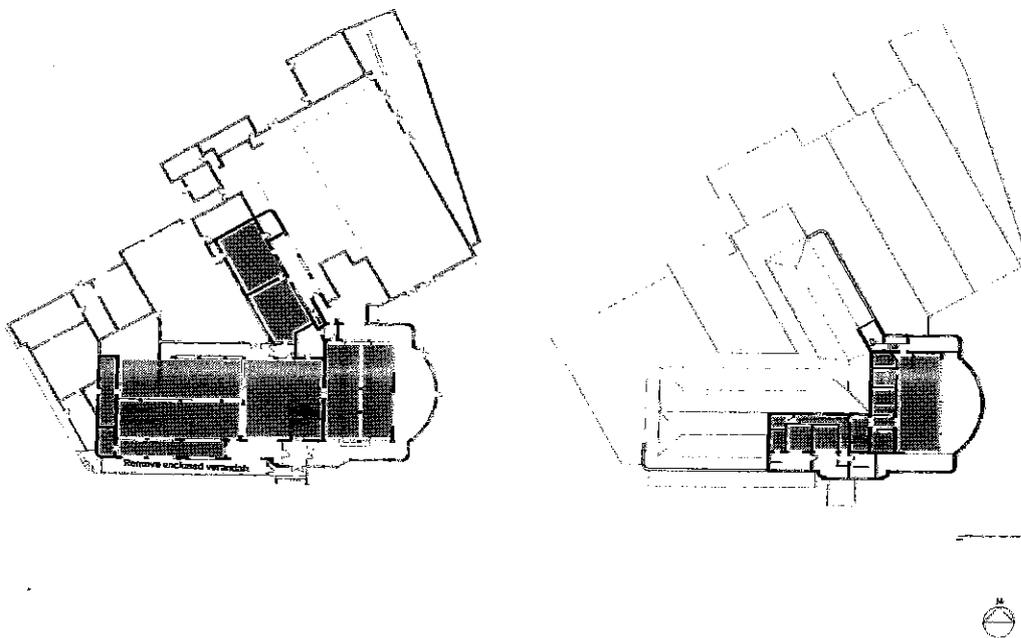


Figure 137 Diagram showing the maximum division of interior spaces generally preferred for the interior of the heritage core of the hotel. Based on historic layout of principal spaces as determined by physical evidence, investigation and photographs set out in the documentary evidence section of this report.

7.5.2 Retention of Fireplace

One of the few obvious interior Art Deco features that remains in the Raffles is the fireplace of the lounge bar. It was once a feature of the Tropical Lounge before that room was opened up further. The masonry surround has horizontal rustication like the outside of the building and once featured a semicircular mirror above the mantle as wide across as the fireplace itself.

Recommendation 71

The fireplace in the lounge should be retained, returned to a more compatible colour scheme and have its semi-circular mirror reconstructed. If restoration and reconstruction can not feasibly be achieved in the short term, the masonry fireplace may be preserved in situ in the meantime.

Another fireplace on the ground floor – the ingle fireplace - is believed to have been in the location of the current men's toilet. It is unlikely that it would have been an identical design because it would have had to fit within an inglenook. As there is likely to be insufficient evidence on which to base a reconstruction, reconstruction of the ingle fireplace is not recommended.

Recommendation 72

Remnant fabric of the ingle fireplace in the location of the men's toilet should be investigated, recorded and interpreted.

7.5.3 Retention of Stair

The Stair is the other main interior feature apparent. It has a steel balustrade, maple handrail and timber treads.

Recommendation 73

The existing stair of the main lounge should be retained and conserved. The freestanding nature of the stair should be recovered by the removal of the reception and that quality retained.

7.5.4 Interior Lighting

All lighting in the place dates from the 1960s through to recent times. None of it is of significance.

Recommendation 74

Existing lighting may be retained or removed. See also Recommendation 57.

7.5.5 Provision of Lift

Any change of use which allows public access to the first floor requires a wheelchair accessible lift. Moreover, schemes that seek to provide underground parking will also require a lift. There is no precedent of a lift at the Raffles so adaptation would be necessary. In the immediate vicinity of the core of the hotel, there are several preferred locations in which to locate a lift. They are outlined in Figure 138 below. Readers should note that the proposed locations were not reviewed in detail by the Heritage Council of WA in the drafting of this conservation plan and that relevant approvals, as with all proposals for change, would be required as part of a formal development application or building licence application.

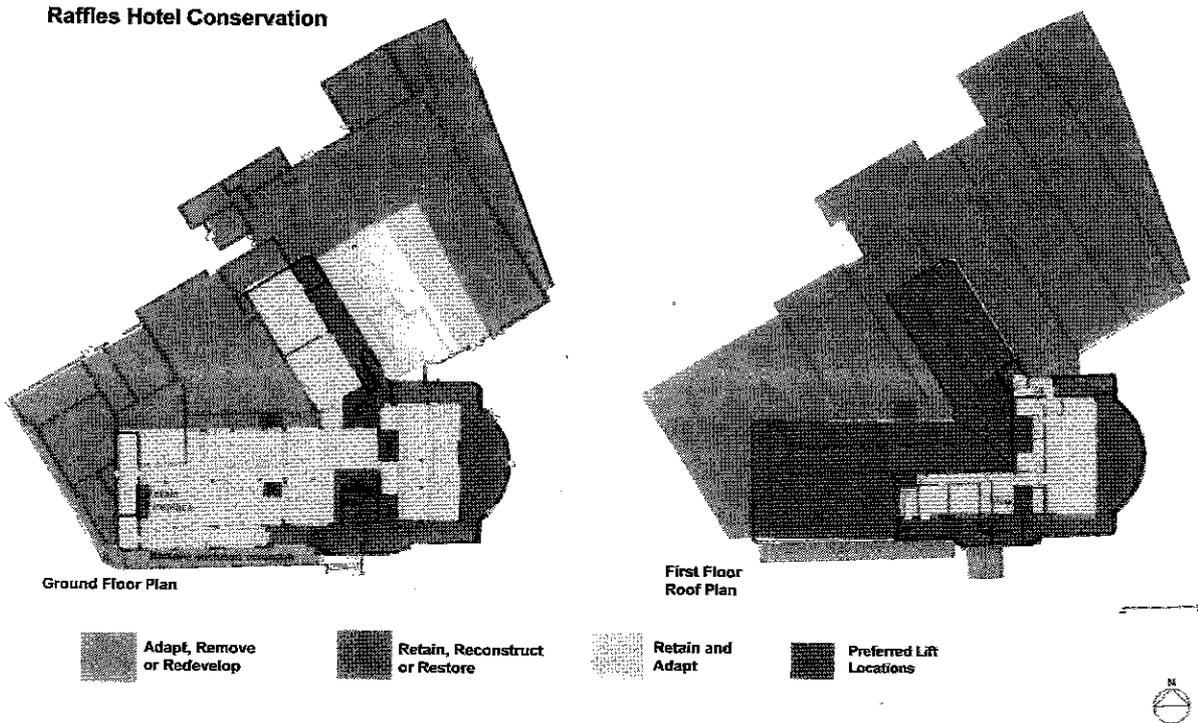


Figure 138 Preferred locations for a lift in the hotel core.

- Location A provides for an external lift at the front of the building which is ensconced within the southern loggia and provides immediate access at the main entrance of the building.
- Location B provides access off the location of the former main lounge and allows first floor access in an internal location of low significance.
- Location C provides access at the rear outside the building but would require a first floor extension at the rear of the building.
- Similarly, Location D would require a first floor extension but could be connected more directly to the first floor stair foyer.
- Locations E and F both provide access close to the first floor stair foyer into first floor fabric of low significance but they would require the loss of space in the main bar area and could not be considered were the current bar layout sustained or if the open plan of the area were sought to be retained.

Recommendation 75

Preferred locations outlined in Figure 138 should be considered for installation of a lift and opaque shaft in the immediate vicinity of the hotel core if one is required.

The main lounge is a space which is sought to be recovered - that is to say an open square room with the stair the only incursion. This would involve the removal of the existing expediently designed reception which is intrusive to the character of the place. It is a logical space for an internal lift but one that is not preferred unless the lift is as transparent as possible.

Recommendation 76

If a lift is required in the main lounge, it should only be considered if the lift

and its shaft are transparent and if the character of the lounge is recovered by removal of the existing reception.

7.5.6 Colour Schemes

Recommendation 77

Previous colour schemes should be investigated and used to inform future colour schemes and interpretation. The 1937 light coloured exterior paint should be investigated and reconstructed on the façade of the building.

Recommendation 78

Interpretation of previous colour schemes both inside and out should include preserved and revealed samples of paint and other finishes where possible and demonstrative.

7.6 Interpretation

Interpretation means all the ways of presenting the cultural significance of a place. Interpretation may be a combination of the treatment of the fabric (e.g. maintenance, restoration, reconstruction); the use of and activities at the place; and the use of introduced explanatory material.¹⁰⁹

The approach of this conservation plan has included presentation of cultural significance of the Raffles Hotel. This document contains a number of recommendations with a strong interpretive focus including treatment of fabric and the use of the place, which together combine to form the core of the recommended interpretation at the place. The identity and naming of the place as the Raffles is a key aspect of its interpretation.

Recommendation 79

The identity of the place as the 'Raffles' should be perpetuated whatever future use and development occurs.

The Heritage Council has stated that:

Appropriate interpretation of the heritage significance of the Raffles Hotel and former Canning Bridge Hotel should be incorporated into... development (at the place).¹¹⁰

As well as the approaches to interpretation recommended elsewhere in this document, specific interpretive recommendations appropriate to the Raffles Hotel include those dealing with introduced explanatory material.

Recommendation 80

Subtle and low-key explanatory material should be introduced into the Raffles Hotel and its setting to assist in presenting the cultural significance of the place.

Specific themes that could be presented in the content of explanatory material include: Indigenous Use and Significance, Landform and Natural Environment, Early Exploration, Gateway to Melville, Crossing Hell's Gate, South of the River, Building Bridges, Canning Bridge Hotel, Art Deco Style, Foreshore Lifestyle, Civic Landmarks, A Place of Celebration, Drinking and Eating, Rock Band Venue and so on. Whatever themes are presented, it is

¹⁰⁹ The Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (Burra Charter), as amended November 1999, Article 1.17.

¹¹⁰ HCWA to City of Melville, 18 November 2002.

important that they have identified and broad audiences, take account of cross cultural values and be based on sound research.

Whereas themes such as the landmark nature of the place are largely self evident, there are aspects of the place, and particularly its early remnant fabric, that are obscure. Specific interpretation should highlight these obscure aspects.

A range of devices exists for the presentation of interpretive material. Obvious devices include new signage or a brochure outlining the significance of the place. Other devices include the incorporation of explanatory material in the media used at the place such as menus or the integration of art in public places which explores themes of significance.

Recommendation 81

Introduced explanatory signage should be identifiable as introduced, include a range of sizes and types of signs and be consistent with an overall signage strategy for the place (see page 133).

For instance, larger freestanding signs (to about 1500mm high) may be appropriate in open space outside the building as part of a heritage trail around the site or linking with nearby sites such as Heathcote Hospital, but much smaller plaques (perhaps 150mm) are appropriate to highlight obscure aspects of the interior such as the small sample of remnant 1896 moulding in the front bar.

Larger freestanding signs and outdoor public art have the potential to assist in framing views and making a positive contribution to the landscape while explaining or re-presenting the significance of the place.

Recommendation 82

Public art may be used within the place and its setting to assist in interpreting the significance of the place.

8.0 IMPLEMENTATION

8.1 Conservation and Development

Various options exist for how the preceding conservation recommendations could be implemented. Approaches include maintaining the place in its current use and form or implementing the recommendations concerning reconstruction and restoration to accommodate compatible uses.

Multiplex intends to remove fabric of little significance such as Raff's nightclub and the motel units, reconstruct, restore and adaptively reuse the core of the hotel and its setting while redeveloping the northern part of the site with residential apartments. Its plan has received in-principle approval from the Heritage Council of Western Australia.

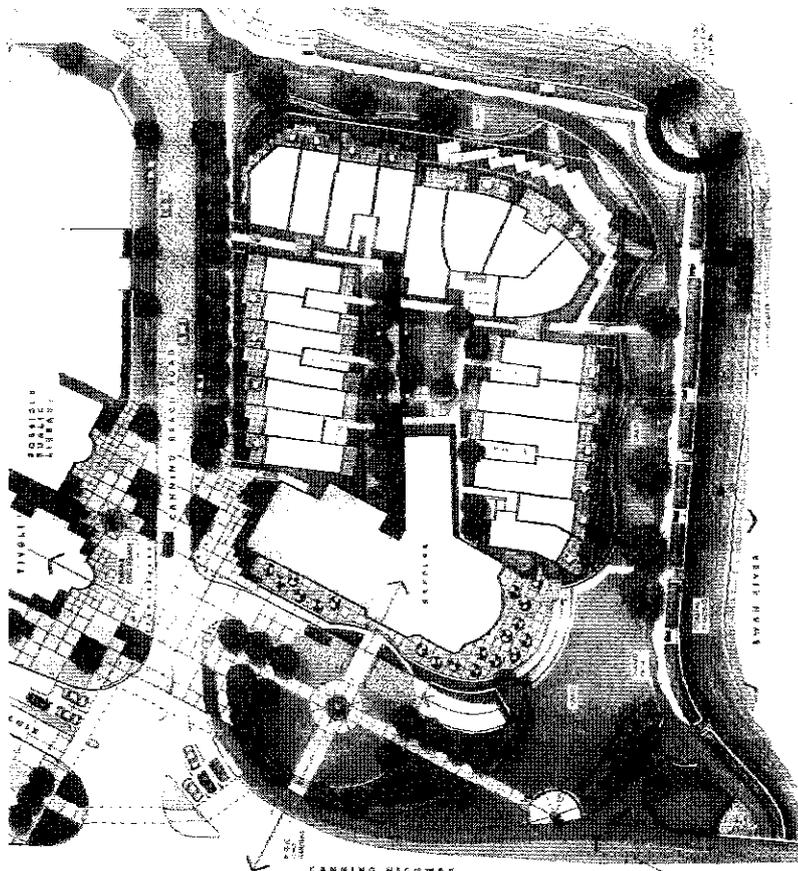


Figure 139 Landscape Master Plan prepared by McNally Newton Landscape Architects showing the treatment of landscape, retention of hotel core and location of new apartment blocks. From Multiplex's development application submission.

In implementing the conservation plan and the redevelopment proposal three types of works are proposed:

- Investigative and Demolition Works;
- Conservation Works;
- Fit out and redevelopment works.

A preliminary schedule of investigative works has been executed and has informed the conservation recommendations. During demolition those items listed in the preliminary schedule of demolition items should be removed and more extensive investigations should be carried out to confirm the extent of the underlying fabrics. Conservation works listed in the preliminary schedule of conservation works should then be undertaken. The place may then be fitted out for future use.

Preliminary Schedule of Demolition Items

This schedule of demolition items includes items scheduled for demolition to accommodate compatible new use proposed by Multiplex Developments Pty Ltd. The items are of little significance or are intrusive. Demolition of these items is a future use requirement rather than the highest conservation priority.

This schedule is indicative only. Detailed demolition drawings graphically identifying the extent of demolition must be submitted for the consideration of the Heritage Council before demolition works can be undertaken. Although largely recorded in this conservation plan, further recording of the fabric as outlined in the Recommendation section will also be necessary before and after any demolition. Further, it should be recognised that unexpected fabric from the 1896 and 1937 schemes may be uncovered in the process of demolition and would need to be retained and conserved.

Items scheduled for demolition include:

- Carpets to walls and floors.
- Vinyl sheet flooring.
- Wall coverings including wallpapers, cork-paper, beaten copper cladding, and mirrors.
- All window treatments including curtains and brass pelmets.
- All interior light fittings and electrical items.
- Vermiculite cladding to interiors of main lounge.
- Aluminium framed glazing.
- Stud framed reception area including counter, ceiling and walls.
- Acoustic tiled ceilings.
- Plain coved suspended ceilings except to former loggia areas.
- All ceramic tiling.
- All bars.
- All doors and door furniture unless noted for retention.
- Kitchen fitout.
- All loose furniture.
- All fixed furniture unless noted for retention.
- Masonry as identified on the demolition plan.

Preliminary Schedule of Conservation Works

Zones	Conservation Works
Exterior	
<u>Roof – 2 storey section</u>	Remove roof cladding. Reconstruct roof framing to 1937 form and clad in terracotta tiles.
	Replace rainwater goods and disposal systems.
	Retain and conserve neon Raffles sign and Swan beer sign above southern and eastern façades.
<u>Roof – western section</u>	Remove roof cladding. Replace metal cladding with terracotta roof tiles to southern roof.
	Replace metal cladding with short-sheeted cgi roof sheeting to northern roof.
	Replace rainwater goods and disposal systems.
<u>Roof – northern wing</u>	Remove roof cladding. Replace gambrel roof cladding with short-sheeted cgi roof sheeting.
	Replace rainwater goods and disposal systems.
<u>Facades</u>	Make good to rendered masonry facades using compatible render.
	Repaint rendered masonry facades in light finish based on physical and documentary evidence of the 1937 scheme.
	Remove aluminium framed glazing and replace with less intrusive glazing system.
<u>Southern façade</u>	Reconstruct masonry of eastern corner entry bay to match western corner.
	Retain and conserve flagmasts to southern façade.
<u>Site</u>	Install subsurface rainwater disposal system from downpipes to whole building.
Interiors	
<u>Western Lounge</u>	Remove vermiculite finish to walls and refinish in plaster or render depending on location and historic precedent. Repaint.
	Retain and conserve masonry fireplace and hearth in former Tropical Lounge (now lounge bar). Repaint in accordance with 1937 colour scheme.
<u>Main Lounge</u>	Remove vermiculite finish to walls and columns, refinish plaster and reconstruct stepped capitals to columns at ceiling junctions.
	Remove stud framed reception area including counter, ceiling and walls.
	Retain and conserve timber and metal staircase in main lounge. Make good to timber finish of underside of staircase. Recarpet or refinish in oil depending on physical evidence of early finish.
<u>Front Bar</u>	Remove acoustic tiled ceilings.
	Restore and reconstruct early wall finish to section of 1896 wall in front bar for interpretive purposes.

- Banded neon and flashing border lighting to exterior.
- Freestanding sign in carpark.
- Steel porch and steps to southern entry
- Planter bed at foot of building
- South-western enclosed verandah
- Roof cladding

Preliminary Schedule of Items to be Retained¹¹¹

- All masonry and render unless identified for removal.
- All moulded cornices and 1937 fibrous plaster ceilings.
- All plain coved cornices to former loggia areas.
- All moulded architraves, skirtings and skirting blocks.
- All splayed architraves unless identified for removal.
- All concrete floors except the men's toilet.
- Original 1896 and 1937 doors and hardware.
- Timber floors of high integrity.
- Timber and metal staircase in main lounge.
- The upper flight of the timber and fibre cement sheet¹¹² staircase from first floor loggia.
- Masonry fireplace and hearth in former Tropical Lounge (now lounge bar).
- All timber framed windows.
- All other structural elements.
- Neon Raffles sign and Swan beer sign above southern and eastern façades.
- Flagmasts to southern façade.
- Sections of c.1950s linoleum tiling for interpretive purposes.

¹¹¹ This schedule is not a schedule of significant items. It is a list proposed to meet requirements of the place's adaptation including retaining all significant fabric and retaining fabric that is useful to the operation of the place. For this reason, items such as the flagmasts are proposed to be retained.

¹¹² This sheet may contain asbestos in which case it should be safely removed.

	front bar for interpretive purposes.
	Retain section of c.1950s linoleum tiling for interpretive purposes.
First Floor	Retain and conserve the upper flight of the timber and fibre cement sheet staircase from first floor loggia. Replace fibre cement sheet with asbestos-free sheeting if found to contain hazardous material.
Generally	Repaint interior based on 1937 colour schemes consistent with future use requirements.
	Remove plain coved suspended ceilings except to former loggia areas. Repair or reconstruct where necessary 1937 ceilings to whole ground floor.
	Retain and conserve all moulded cornices and 1937 fibrous plaster ceilings.
	Remove carpets to walls and floors. Retain any early carpet samples and use to inform possible reconstruction. Make good to walls and floors.
	Remove vinyl sheet flooring. Make good to floors.
	Remove wall coverings including wallpapers, cork-paper, beaten copper cladding, and mirrors. Make good to walls.
	Remove all window treatments including curtains and brass pelmets.
	Remove all interior light fittings and electrical items if not useful.
	Remove all ceramic tiling. Make good to underlying surfaces.
	Remove all bars. Make good to floors and walls.
	Retain and conserve original 1896 and 1937 doors and hardware. Remove all other doors and door furniture.
	Remove kitchen fitouts. Make good to floors and walls.
	Remove all loose and all fixed furniture.
	Remove banded neon and flashing border lighting to exterior.
	Remove freestanding sign in carpark.
	Remove steel porch and steps to southern entry
	Remove planter bed at foot of building
	Remove south-western enclosed verandah. Provide glazed infill between columns of southern façade where verandah removed.
	Retain and conserve all plain coved cornices to former loggia areas. Reconstruct if finished in roughcast vermiculite finish.
	Retain and conserve all moulded and splayed architraves, skirtings and skirting blocks.
	Retain and conserve all concrete floors except the men's toilet. Repaint or refinish in resilient finishes depending on future use requirements.
	Retain and conserve timber floors of high integrity. Refinish in oil finish or carpet depending on historic use and future use

	requirements.
	Retain and conserve all timber framed windows. Repaint. Replace any 1970s amber 'bullion' glass with clear or leadlight glass if original can be ascertained. Reconstruct hung timber-framed windows glazed with clear glass to openings in ground floor kitchen west wall.

8.2 Future Management

Recommendation 83

Whoever the owner, only a single entity should be responsible for implementing the conservation recommendations and managing conservation at the place at any time.

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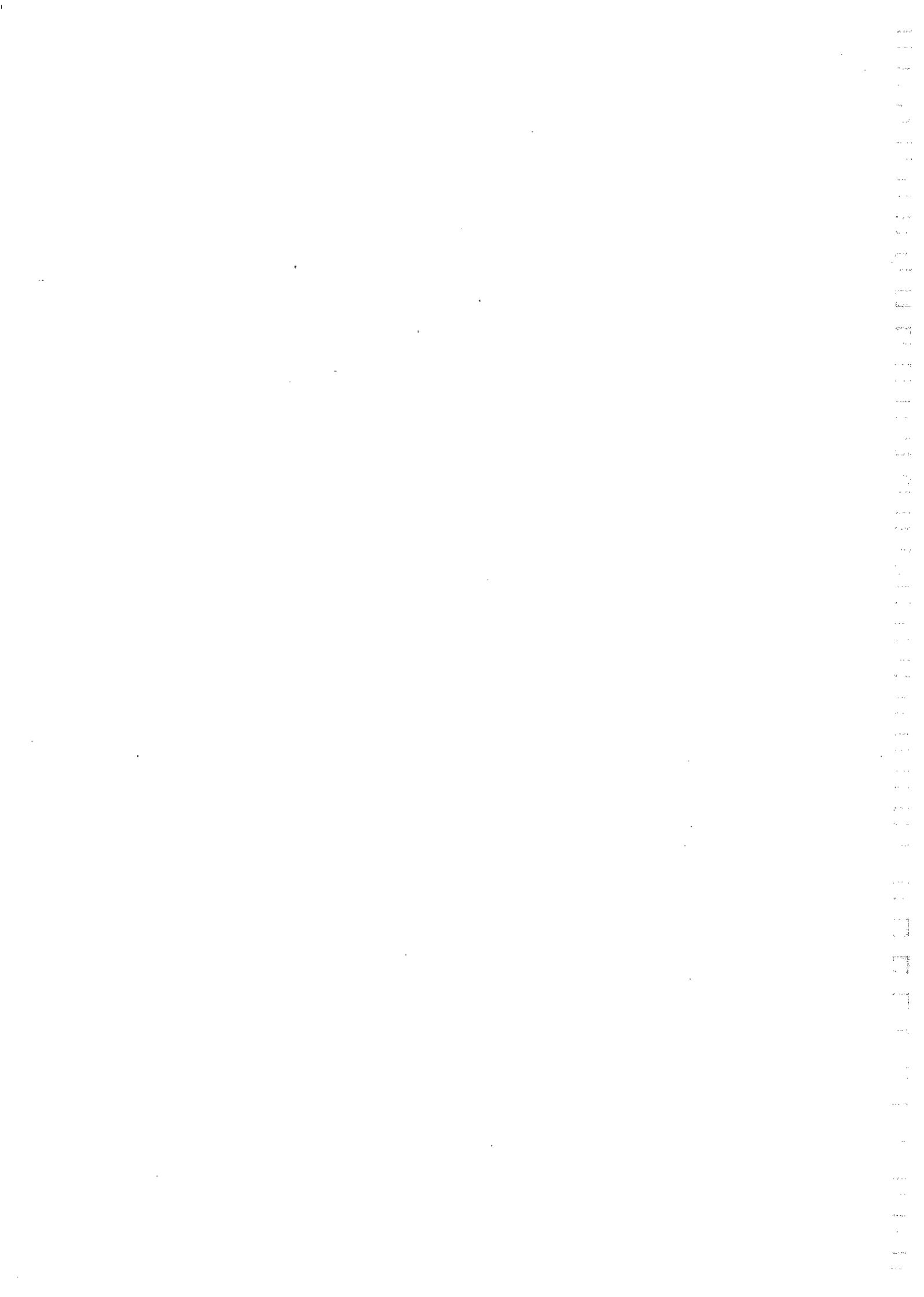
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Art Deco Society of WA Newsletter, July/August 1992, Vol. 5, No. 4.

Various design proposals

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APPENDIX A - PHYSICAL INVESTIGATION SCHEDULES



Raffles Hotel Inspection Schedule
Room: Front Bar
1896 Fabric
MASONRY WALL TO WESTERN SIDE. TIMBER FLOOR.
1937 Fabric
MASONRY PART + EXTERIOR MASONRY WALLS. CONCRETE/TERAZZO FLOOR TO FORMER LOGGING. BULLNOSE ARCHITRAVED OPENING WITH HIGHLIGHT TO NORTHERN END OF BAR ON WESTERN SIDE.
Existing finishes and fittings
GIVE UNDERLYING BEHIND BAR - TIMBER COUNTER WITH LAMINATED FACED, TIMBER WALLS (VERTICAL) AND STAINLESS STEEL SPIT TROUGH. RED PATTERNE CARPET OF LATE 1960s/70s. BULLNOSE SKirting, CORK UNDERLAYER. COLOUR OF MICRO TILES. PAINT FINISH TO MASONRY AT HIGH LEVEL. TEXTURED COPPER SIDING. LAMINATED TIMBER VENEER PANELLING. ACOUSTIC SUSPENDED CEILING. RECESSED FLUORESCENT LIGHTING. ALUMINUM FRAMED GLAZING. BULBGLASS THROUGH IRON PENDANT LIGHTS. DOWN LIGHTS. NUMARBER CROSSING, MURAL. PRE-TEMPLIES + EMPORERA.
Underlying Fabric and Finishes
CEILING BENEATH SUSPENDED CEILING. LOCATION OF HEARTH. PAINT FINISHES TO WALLS. REMNANT CARPET + TIMBER FLOOR BENEATH CARPET. CONCRETE/TERAZZO BENEATH CARPET.
Fabric of Little Significance/Intrusive Fabric
ALL FABRIC 1896 ^{EXCEPT} 1896/1937 IS OF LITTLE SIGNIFICANCE. NUMARBER CROSSING MURAL, PRE-TEMPLIES + EMPORERA HAVE LOW BUT SOME SOCIAL SIGNIFICANCE.

Raffles Hotel Inspection Schedule
Room: TAB
1896 Fabric
<i>NONE</i>
1937 Fabric
<i>STEPPED OPENING TO MASONRY OF FRAMER BEER GARDEN LOGGIA ON WESTERN SIDE</i>
Existing finishes and fittings
<i>GREY CARPET ON CONCRETE FLOOR. PAINTED STUD WALLS. SUSPENDED CEILING. RECESSED RECTORMENT LIGHT FITTING.</i>
Underlying Fabric and Finishes
<i>EXTERIOR PAINT FINISH TO LOGGIA MASONRY. LOGGIA CEILING BENEATH SUSPENDED CEILING.</i>
Fabric of Little Significance/Intrusive Fabric
<i>ALL FABRIC EXCEPT 1937 MASONRY LOGGIA,</i>

Raffles Hotel Inspection Schedule
Room: Male Toilets (Ground Floor)
1896 Fabric
<i>NOT IDENTIFIABLE. MASONRY WORK. FIREPLACE HEARTH IF DISCERNIBLE IN CONCRETE FLOOR (?).</i>
1937 Fabric
<i>CONCRETE FLOOR. COVED CORNICE CEILING.</i>
Existing finishes and fittings
<i>BROWN CERAMIC TILES TO FLOOR. WHITE TILES TO CEILING. CERAMIC WC SITES. STAINLESS STEEL URINAL. CERAMIC HAND BASIN. MIRROR. BLACKBOARD OVER URINAL.</i>
Underlying Fabric and Finishes
<i>WOOD FINISHING BENEATH TILES. FLOOR FINISH BENEATH TILES. PAINT FINISH TO CEILING. EVIDENCE OF HEARTH OF INGLE FIREPLACE IN FLOOR.</i>
Fabric of Little Significance/Intrusive Fabric
<i>ALL SURFACE FABRIC + FIXTURES IDENTIFIED AS 1896/1937 FABRIC. ALL FABRIC + SPACE IS OF LOW SIGNIFICANCE.</i>

Raffles Hotel Inspection Schedule

Room: Lounge Bar

1896 Fabric ~~TIMBER FLOOR, MASONRY WALLING REDUCED TO PIERCE~~

TIMBER FLOOR, MASONRY WALLING REDUCED TO PIERCE.

1937 Fabric

BANDED MASONRY FIREPLACE AT WESTERN END
MASONRY PIERCE OF SOUTHERN LOGGIA.
STEEL + TIMBER STAIR TO WESTERN END.
EXCEPTIONAL COLUMNED BAY TO SOUTHERN LOGGIA.

Existing finishes and fittings

^{LATE 1930S}
BLUE PATTERNED CARPET. TWO ISLAND BAY. VERTICAL TIMBER
HANDSCUTTING TO PIERCE. MIRRORING TO PIERCE. CARPET TO WANG.
~~SEE~~ VERMICULITE TO WANG + CEILING. LIGHTING - OYSTER,
DOWNLIGHTS + CHANDLIER. MIRRORING TO WANG. STEEL +
VINYL CHAIRS + STOOLS. STEEL + LAMINATE CIRCULAR TABLES.
PIANO BAY. PA + AIR CON OUTLETS. WANG HEATER.

Underlying Fabric and Finishes

PAINT FINISHES TO MASONRY. UNDERLYING CARPET REMAINS
EVIDENCE OF ROOM PARTITIONS IN FLOOR. COVERED CORNICE TO
CEILINGS IN WESTERN END + SOUTHERN LOGGIA.

Fabric of Little Significance/Intrusive Fabric

ALUMINIUM + GLASS WALL TO NORTHERN JOE.
ENCLOSED VERANDAH TO SOUTHERN JOE.
ALL EXISTING FINISHES + FITTINGS EXCEPT FOR 1896/1937 FLOOR.

Raffles Hotel Inspection Schedule
Room: Stair Well
1896 Fabric
<i>MASONRY WALLS BELOW FIRST FLOOR.</i>
1937 Fabric
<i>TIMBER FLOOR + STAIR. STEEL + TIMBER STAIR. MASONRY WALLS ABOVE FIRST FLOOR.</i>
Existing finishes and fittings
<i>PATTERNED CARPET TO FLOOR/STAIRS + WALLS. MIRROR TO LANDING. SILVER WALLPAPER TO WALLS. PLASTERBOARD CEILING WITH COVERED CORNICE. OYSTER LIGHT. CHAMBERLIER. TIMBER DOOR TO FIRST FLOOR WITH AMBER BULLION GLASS HIGHLIGHT. ALUMINIUM FRAMED WINDOW TO NORTH WALL.</i>
Underlying Fabric and Finishes
<i>TIMBER STAIR + FLOOR. WALL FINISHES. POSSIBLY ABOVE CEILING.</i>
Fabric of Little Significance/Intrusive Fabric
<i>ALL FABRIC EXCEPT 1896/1937 FABRIC.</i>

Raffles Hotel Inspection Schedule
Room: Entry Foyer
1896 Fabric
REMNANT MASONRY FABRIC TO NORTH WALL
1937 Fabric
MASONRY FABRIC TO OUTER WALL, CONCRETE/TERRAZZO FLOOR. CEILING.
Existing finishes and fittings
CARPET TO FLOOR. CARPET TO WALLS. ALUMINIUM + GLASS INFILL SCREENS. RECEPTION AREA + COUNTER FRAMED STRUCTURE. VERMICULITE TO WALLS + CEILING. SILVERED SIGNAGE.
Underlying Fabric and Finishes
CARPET/TIMBER TO ^{UNDER} NEATH EXISTING IN RECEPTION. CONCRETE OR TERRAZZO FLOOR IN ENTRANCE STRAY. PAINT FINISH/ BENEATH VERMICULITE + CARPET.
Fabric of Little Significance/Intrusive Fabric
ALL SURFACE FABRIC AND LIGHTWEIGHT PARTITIONING EXISTS THAT IDENTIFIED IN 1896/1937 FABRIC ABOVE.

Raffles Hotel Inspection Schedule
Room: Dining Room
1896 Fabric
MASONRY WALLS. MOULDED ARCHITRAVE TO SOUTHERN DOOR. MOULDED ARCHITRAVE TO EASTERN DOOR. POSSIBLE E' DOOR PANELS UNDER FLOOR. TIMBER FLOOR WEAR CARPET.
1937 Fabric
SPRAYED ARCHITRAVE TO SOUTHERN DOOR. CEILING TO VESTIBULE UNDER TEXTURED COATING. TEXTURED COATING TO WALL WINDOW TO EAST WALL(?). ART DECO CORNICE. ? DOUBLE GLAZING.
Existing finishes and fittings
RECENT DARK BLUE CARPET. SKIRTINGS. ALUMINIUM FRAMED WINDOW TO WESTERN WALL. PENDANT LIGHTING. FANS + A/C GRILLE
Underlying Fabric and Finishes
TIMBER FLOOR, REMNANT CARPET.
Fabric of Little Significance/Intrusive Fabric
ALL EXISTING EXCEPT 1896 - 1937 FABRIC AS SHOWN. EXCEPT DOUBLE GLAZING.

Raffles Hotel Inspection Schedule
Room: Kitchen
1896 Fabric
MASONRY WALLING. OPENINGS ON WEST ^{EAST} SIDE TO ORNATE MOUNDINGS TO ARCHITRAVES. TIMBER FLOORS WALLS
1937 Fabric
SPRAYED MOUNDINGS. CEILING - BATTENS RECENT. HARDWARE TO EAST DOOR. HIGHLIGHT DOOR + FEYNICK PORTABLE KITCHEN DOOR.
Existing finishes and fittings
VINYL SHEET FLOORING. TILED WALLS WHITE 150 X 150. ALUMINIUM WINDOWS TO WEST SIDE. COOLROOM + KITCHEN FITTINGS. EXHAUST + BULKHEAD. KITCHEN HATCH TO EAST SIDE RECENT. BUILT UP WALL TO PANTRY / FORMER LOGGIA.
Underlying Fabric and Finishes
TIMBER FLOOR. PAINT FINISHES ON WALLS.
Fabric of Little Significance/Intrusive Fabric
ALL EXISTING EXCEPT 1896 - 1937 FABRIC.

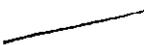
Raffles Hotel Inspection Schedule
Room: Western Beer Garden
1896 Fabric
<i>EASTERN MAJONRY WALL TO KITCHEN.</i>
1937 Fabric
<i>—</i>
Existing finishes and fittings
<i>CONCRETE PAVING. STEEL ^{VERANDAH} PERGOLA. BRICK + TIMBER VERANDAH, PALMS -</i>
Underlying Fabric and Finishes
<i>MAJONRY FINISHES - CONCRETE.</i>
Fabric of Little Significance/Intrusive Fabric
<i>ALL EXCEPT EASTERN MAJONRY WALL.</i>

Raffles Hotel Inspection Schedule
Room: Store
1896 Fabric
✓
1937 Fabric
MASONRY WORKS. FLOOR. SPLAYED ARCHITECTURES. LOUVERED + SHUTTERING WINDOWS.
Existing finishes and fittings
CARPET. TILES. WALLPAPER. MIRRORS. LAMINATE SINIC CABINETS. CHANDLIER.
Underlying Fabric and Finishes
PAINTS/PAPER u/NEATH. CARPET REMAINS.
Fabric of Little Significance/Intrusive Fabric
AW BUT 1937.

Raffles Hotel Inspection Schedule
Room: Male Toilets (First Floor)
1896 Fabric
—
1937 Fabric
MASONRY WALLS - FLOOR. SPLAYED ARCH/TRAVES TO DOORS. FIXED LOUVER WINDOWS
Existing finishes and fittings
LAMINATE CABINETS, S/S WAINCO, TOILET, TILED WALLS.
Underlying Fabric and Finishes
PAINT FINISHES
Fabric of Little Significance/Intrusive Fabric
AN BWT 1937 FABRIC

Raffles Hotel Inspection Schedule
Room: Kitchen in Former Loggia (First Floor)
1896 Fabric
✓
1937 Fabric
MASONRY WALL + FLOOR FABRIC TIMBER AND ASBESTOS STAIR TO TOP SECTION.
Existing finishes and fittings
TILED WHITE 150X150 WANG. BLUE VINYL SHEET ON FLOOR. INFILL OF STUCCOWORK. ALUMINIUM WINDOWS TIMBER AND GLASS TIMBER FRAMED DOOR AND LOGGIA INFILL.
Underlying Fabric and Finishes
PAIN'T FINISH TO EXTERIOR WALLS.
Fabric of Little Significance/Intrusive Fabric
ALL BUT 1937 FABRIC

Raffles Hotel Inspection Schedule
Room: Kitchen (First Floor) <i>FLAT</i>
1896 Fabric
<i>_____</i>
1937 Fabric
<i>MASONRY FABRIC. TIMBER BOARDS. (SHELVES TO NORMAN)</i> <i>LOUVER</i>
Existing finishes and fittings
<i>LAMINATE CUPBOARDS. RECENT TILE LOUVER ABOVE BENCH TOP. P/BOARD CEILING WITH COVERED CORNICE.</i>
Underlying Fabric and Finishes
<i>PAIN'T FINISHES.</i>
Fabric of Little Significance/Intrusive Fabric
<i>ALL EXISTING EXCEPT 1937 FABRIC</i>

Raffles Hotel Inspection Schedule
Room: Dining Room of Flat
1896 Fabric

1937 Fabric
MASONRY WALLS. CONCRETE FLOOR.
Existing finishes and fittings
ALUMINIUM SLIDING DOORS. A.V. WINDOW INFILL. TILES TO SILL. VINYL SHEET TO FLOOR. P/BARD CEILING ON RAPE.
DAMP TO S/W CORNER EXT WALL.
Underlying Fabric and Finishes
CONCRETE FLOOR
Fabric of Little Significance/Intrusive Fabric
AN BUT 1937 FABRIC.

Raffles Hotel Inspection Schedule

Room: Living Room of Flat

1896 Fabric

✓

1937 Fabric

MASONRY WALLS. TIMBER FLOOR + CONCRETE FLOOR.
SPRAYED ARCHITRAVES.

Existing finishes and fittings

P/BOARD CEILING, CARPET, PAINT FINISH.

Underlying Fabric and Finishes

PAINT FINISH. CONL. FLOOR | TIMBER FLOOR

Fabric of Little Significance/Intrusive Fabric

ALL BUT 1937 FABRIC

Raffles Hotel Inspection Schedule

Room: Bathroom of Flat

1896 Fabric

1937 Fabric

MASONRY WALL

Existing finishes and fittings

TILOD FLOOR - P/BOARD CEILING

Underlying Fabric and Finishes

WALLS

Fabric of Little Significance/Intrusive Fabric

AN BNT 1939

Raffles Hotel Inspection Schedule

Room: Hall of Flat

1896 Fabric

1937 Fabric

MASONRY WALLS. RUN MOULDING + TEXTURED FINISH
TO WALL -
TIMBER FLOOR

Existing finishes and fittings

CARPET AS FOR LIVING AREA.

Underlying Fabric and Finishes

FLOOR / CARPET.

Fabric of Little Significance/Intrusive Fabric

All

Raffles Hotel Inspection Schedule
Room: Second Bedroom of Flat
1896 Fabric
1937 Fabric
<i>ALL CONC: FLOOR.</i>
Existing finishes and fittings
<i>AS FOR LIVING ROOM. AL INFILL. P/BOARD CEILING.</i>
Underlying Fabric and Finishes
Fabric of Little Significance/Intrusive Fabric

Raffles Hotel Inspection Schedule
Room: Function Room
1896 Fabric
NONE.
1937 Fabric
MASONRY. TIMBER FLOOR. CONCRETE FLOOR TO FORMER LOGGIA. PERIMETER COVERED CORNICES.
Existing finishes and fittings
DK BOURNE CARPET. STEEL POSTS. PAINT + CARPET TO WAIVER. BAR TO SOUTH WEST CORNER. MIRRORS, BRASS PELMETS. ALL LIGHTS, A/C, OAK VARNISHED TIMBER DOORS WITH APPLIED MOUNDINGS.
Underlying Fabric and Finishes
PAINT FINISHES, CARPET/TIMBER FLOOR.
Fabric of Little Significance/Intrusive Fabric
ALL BUT 1937 FABRIC.

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Annexure C – Schedule of Conservation Works

Zones	Medium Term Conservation Works
<u>Exterior</u>	
<u>Roof – 2 storey section</u>	Reconstruct roof framing to 1937 form and clad in terracotta tiles to match original.
	Replace rainwater goods and disposal systems to accord with documentary evidence.
	Retain and conserve neon Raffles sign and Swan beer sign above southern and eastern façades.
<u>Roof – western section</u>	Remove roof cladding. Replace metal cladding with terracotta roof tiles to southern roof.
	Replace metal cladding with short-sheeted cgi roof sheeting to northern roof.
	Replace rainwater goods and disposal systems to accord with documentary evidence.
<u>Roof – northern wing</u>	Remove roof cladding. Replace gambrel roof cladding with short-sheeted cgi roof sheeting.
	Replace rainwater goods and disposal systems.
<u>Facades</u>	Make good to rendered masonry facades using compatible render.
	Repaint rendered masonry facades in light finish based on physical and documentary evidence of the 1937 scheme.
	Remove aluminium framed glazing and replace with less intrusive glazing system.
<u>Southern façade</u>	Reconstruct masonry of eastern corner entry bay to match western corner.
	Retain and conserve flagmasts to southern façade.
<u>Site</u>	Install subsurface rainwater disposal system from downpipes to whole building.
<u>Interiors</u>	
<u>Western Lounge</u>	Remove vermiculite finish to walls and refinish in plaster or render depending on location and historic precedent. Repaint.
	Retain and conserve masonry fireplace and hearth in former Tropical Lounge (now lounge bar). Repaint in accordance with 1937 colour scheme.
<u>Main Lounge</u>	Remove vermiculite finish to walls and columns, refinish plaster and reconstruct stepped capitals to columns at ceiling junctions.
	Remove stud framed reception area including counter, ceiling and walls.
	Retain and conserve timber and metal staircase in main lounge. Make good to timber finish of underside of staircase. Recarpet or refinish in oil depending on physical evidence of early finish.
<u>Front Bar</u>	Remove acoustic tiled ceilings.
	Restore and reconstruct early wall finish to section of 1896 wall in front bar for interpretive purposes.
	Retain section of c.1950s linoleum tiling for interpretive purposes.
<u>First Floor</u>	Retain and conserve the upper flight of the timber and fibre cement sheet staircase from first floor loggia. Replace fibre cement sheet with

	asbestos-free sheeting if found to contain hazardous material.
Generally	Repaint interior based on 1937 colour schemes consistent with future use requirements.
	Remove plain coved suspended ceilings except to former loggia areas. Repair or reconstruct where necessary 1937 ceilings to whole ground floor.
	Retain and conserve all moulded cornices and 1937 fibrous plaster ceilings.
	Remove carpets to walls and floors. Retain any early carpet samples and use to inform possible reconstruction. Make good to walls and floors.
	Remove vinyl sheet flooring. Make good to floors.
	Remove wall coverings including wallpapers, cork-paper, beaten copper cladding, and mirrors. Make good to walls.
	Remove all non-original window treatments including curtains and brass pelmets if redundant/no longer required.
	Remove all interior light fittings and electrical items if not useful.
	Remove all non-original ceramic tiling. Make good to underlying surfaces.
	Remove all bars. Make good to floors and walls.
	Retain and conserve original 1896 and 1937 doors and hardware. Remove all other doors and door furniture if no longer required.
	Remove kitchen fitouts. Make good to floors and walls.
	Remove all loose and all fixed furniture.
	Remove banded neon and flashing border lighting to exterior.
	Remove freestanding sign in carpark.
	Remove steel porch and steps to southern entry
	Remove planter bed at foot of building
	Remove south-western enclosed verandah.
	Retain and conserve all plain coved cornices to former loggia areas. Reconstruct if finished in roughcast vermiculite finish.
	Retain and conserve all moulded and splayed architraves, skirtings and skirting blocks.
	Retain and conserve all concrete floors except the men's toilet. Repaint or refinish in resilient finishes depending on future use requirements.
	Retain and conserve timber floors of high integrity. Refinish in oil finish or carpet depending on historic use and future use requirements.
	Retain and conserve all timber framed windows. Repaint. Replace any 1970s amber 'bullion' glass with clear or leadlight glass if original can be ascertained. Reconstruct hung timber-framed windows glazed with clear glass to openings in ground floor kitchen west wall.

